



REFERENCES:

1. A MAP ENTITLED "CULVER ROAD ARMOY, PDD APPLICATION PLAN, SUBDIVISION PLAT OF 56 HINDSALE STREET AND PART OF LOT 9 OF KLINCK ESTATES," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 347 OF MAPS, PAGE 65.
2. A MAP ENTITLED "ROCHESTER CITY SURVEY, DISTRICT 30, MAP 34," AND LAST REVISED DECEMBER 8, 1937.
3. A MAP ENTITLED "ROCHESTER CITY SURVEY, DISTRICT 30, MAP 32," AND LAST REVISED OCTOBER 3, 1947.
4. A MAP ENTITLED "ROCHESTER CITY SURVEY, DISTRICT 30, MAP 35," AND LAST REVISED NOVEMBER 9, 1956.
5. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DESCRIPTION AND MAP FOR THE TRANSFER OF JURISDICTION OF PROPERTY ROCHESTER CITY: EASTERN EXPRESSWAY, INTERSTATE ROUTE CONNECTION 580-2-6, MONROE COUNTY, MAP No. 5167, PARCEL No. 516 SHEET 1 OF 1.
6. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DESCRIPTION AND MAP FOR THE APPROPRIATION OF PROPERTY ROCHESTER CITY: EASTERN EXPRESSWAY, INTERSTATE ROUTE CONNECTION 580-2-6, MONROE COUNTY, MAP No. 742, PARCEL Nos. 753, 754, 755, 756, 757, 758, 759, 800 & 804, SHEET 1 OF 12.
7. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DESCRIPTION AND MAP FOR THE APPROPRIATION OF PROPERTY ROCHESTER CITY: EASTERN EXPRESSWAY, INTERSTATE ROUTE CONNECTION 580-2-6, MONROE COUNTY, MAP No. 742, PARCEL Nos. 753, 754, 755, 756, 757, 758, 759, 800 & 804, SHEET 2 OF 12.
8. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DESCRIPTION AND MAP FOR THE APPROPRIATION OF PROPERTY ROCHESTER CITY: EASTERN EXPRESSWAY, INTERSTATE ROUTE CONNECTION 580-2-6, MONROE COUNTY, MAP No. 742, PARCEL Nos. 753, 754, 755, 756, 757, 758, 759, 800 & 804, SHEET 3 OF 12.
9. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DESCRIPTION AND MAP FOR THE APPROPRIATION OF PROPERTY ROCHESTER CITY: EASTERN EXPRESSWAY, INTERSTATE ROUTE CONNECTION 580-2-6, MONROE COUNTY, MAP No. 742, PARCEL Nos. 753, 754, 755, 756, 757, 758, 759, 800 & 804, SHEET 4 OF 12.
10. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DESCRIPTION AND MAP FOR THE APPROPRIATION OF PROPERTY ROCHESTER CITY: EASTERN EXPRESSWAY, INTERSTATE ROUTE CONNECTION 580-2-6, MONROE COUNTY, MAP No. 742, PARCEL Nos. 753, 754, 755, 756, 757, 758, 759, 800 & 804, SHEET 5 OF 12.
11. A MAP ENTITLED "INSTRUMENT SURVEY MAP OF CULVER ROAD ARMOY," PREPARED BY DEPARTMENT OF ENGINEERING SERVICES, OFFICE OF MAPS & SURVEYS, CITY OF ROCHESTER, NY, HAVING PROJECT No. 2008-024 AND DATED AUGUST 2, 2009.
12. THE FOLLOWING DEEDS FILED AT THE MONROE COUNTY CLERK'S OFFICE:
LIBER 982 OF DEEDS, PAGE 178
LIBER 2766 OF DEEDS, PAGE 375
LIBER 2874 OF DEEDS, PAGE 234
13. AN ABSTRACT OF TITLE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK, HAVING FILE No. 291477 AND DATED NOVEMBER 6, 2009.

NOTES:

1. LOT 2 MAY BE SUBJECT TO A SANITARY SEWER EASEMENT TO LOT 1 PER REFERENCE 1.
2. LOT 2 MAY BE SUBJECT TO A SANITARY SEWER EASEMENT TO ROCHESTER PURE WATERS DISTRICT PER REFERENCE 1.
3. LOT 2 AND LOT 3 MAY BE SUBJECT TO A RECIPROCAL ACCESS EASEMENT PER REFERENCE 1.
4. LOT 2 MAY BE SUBJECT TO AN ACCESS AGREEMENT TO LOT 3 PER REFERENCE 1.
5. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTER ZONE UTILIZING GPS OBSERVATIONS FROM THE NYSOTD REFERENCE NETWORK STATION (NYPS 0030). SURVEYED BOUNDARIES AND MONUMENTS HEREOF WERE ESTABLISHED USING PROCEDURES REQUIRED TO ESTABLISH A MAXIMUM RELATIVE POSITIVE ACCURACY OF 0.05 FEET.

BEARINGS SHOWN HEREON ARE GRID
DISTANCES SHOWN HEREON ARE GRID
COMBINED FACTOR = 1.00000139123

SITE NOTES:

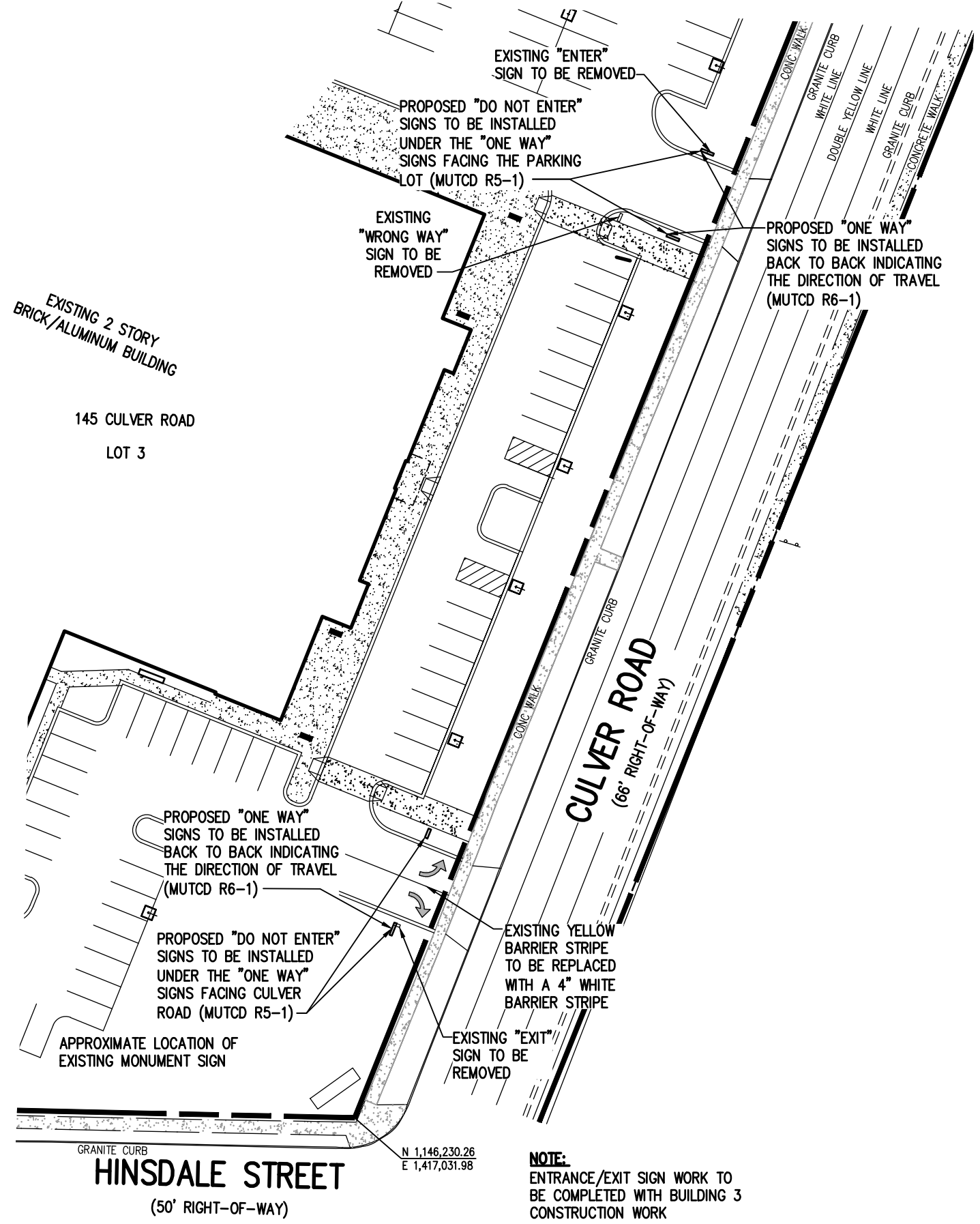
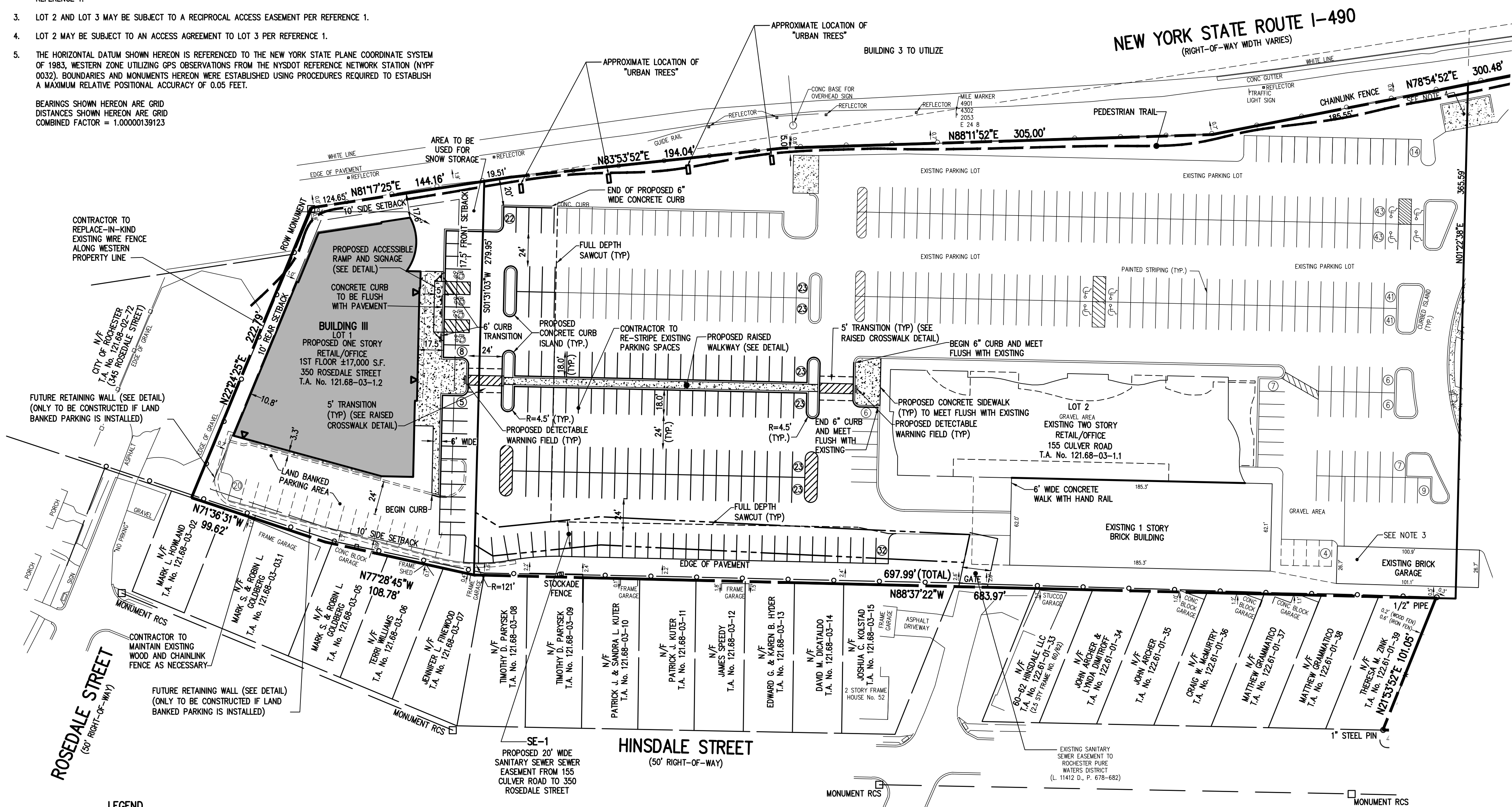
1. EXISTING ZONING: PDD
 2. TOTAL PROJECT AREA: 10.39 AC±, (LOT 1: 0.94 AC±)
 3. PROPOSED USE: PROPOSED 17,000 S.F. ~ 1 STORY RETAIL/OFFICE USE
 4. LOT SETBACKS AND STANDARDS ARE AS FOLLOWS:

MIN. LOT AREA MIN. LOT WIDTH @ BLDG FRONT YARD SIDE YARD REAR YARD BLDG. HEIGHT PARKING SETBACK	<u>PROPOSED</u> 0.94 ACRE PER APPROVED PDD 17.5' (PER APPROVED PDD) 10 FT. (PER APPROVED PDD) 10 FT. (PER APPROVED PDD) 1 STORY (±21') 2 FT. TO ANY DISTRICT LINE
---	--
- PARKING
- | | |
|---|--|
| LOT 3 (BUILDING 1)
LOT 2 (BUILDING 2)
LOT 1 (BUILDING 3)
<u>EXISTING GARAGE</u>
TOTAL | 133 SPACES (INCLUDES 6 ACCESSIBLE SPACES)
419 SPACES (INCLUDES 8 ACCESSIBLE SPACES)
33 SPACES (INCLUDES 4 ACCESSIBLE SPACES)
<u>4 SPACES</u>
588 SPACES (INCLUDES 18 ACCESSIBLE SPACES)* |
|---|--|
- NOTE: TOTAL PARKING COUNTS ASSUME PROPOSED LAND BANKED PARKING IS CONSTRUCTED
- PARKING STALL SIZE 9' X 18' (TYP.)
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED
 6. LOADING TO OCCUR ON THE EAST SIDE OF BUILDING 3

NOTE: TOTAL PARKING COUNTS ASSUME PROPOSED LAND BANKED PARKING IS CONSTRUCTED

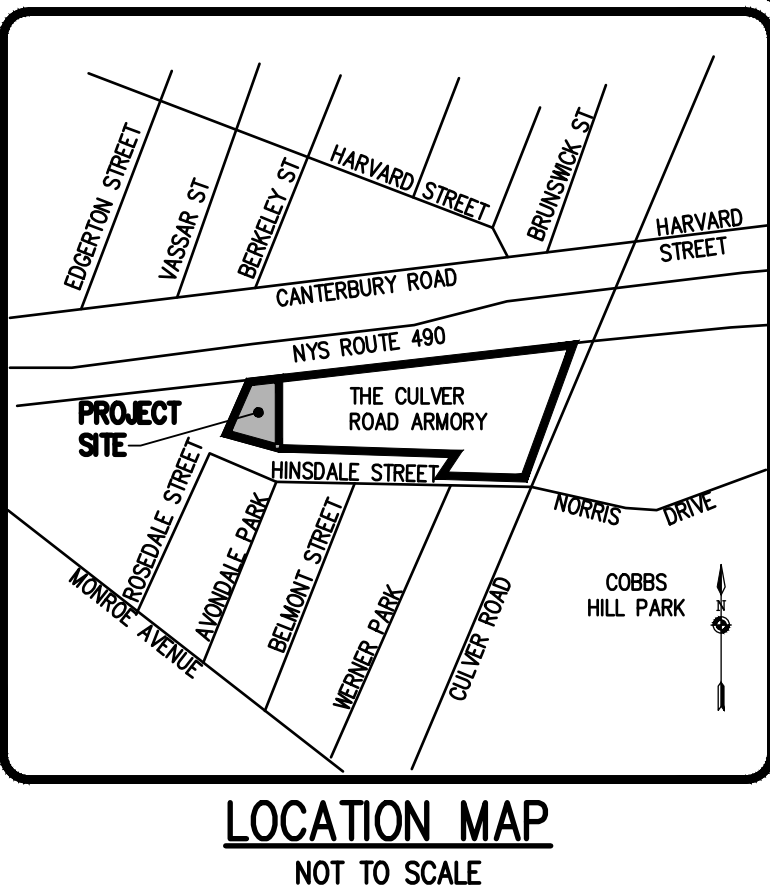
PARKING STALL SIZE 9' X 18' (TYP.)

5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
6. LOADING TO OCCUR ON THE EAST SIDE OF BUILDING 3



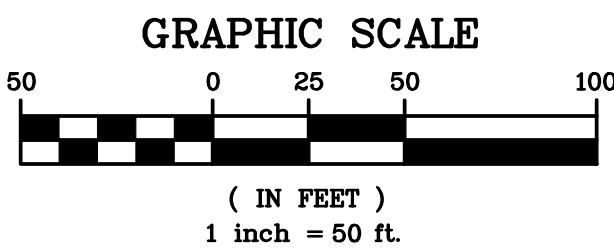
MUTCD SIGN EXHIBIT

SCALE: 1"=50'



LOCATION MAP

NOT TO SCALE

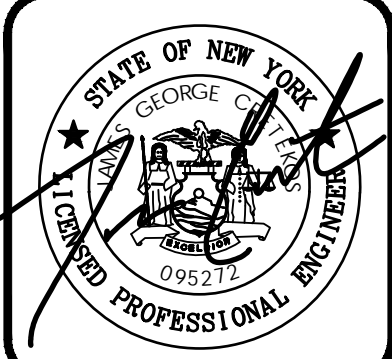


7			
6	REVISED PER UPDATED BUILDING FOOTPRINT	JGC	4/15/21
5	REVISED PER CITY & AGENCY COMMENTS	RRG	1/17/20
4	REVISED PER AGENCY COMMENTS	RRG	8/1/16
3	REVISED PER CITY PLANNING AND AGENCY COMMENTS	RRG	5/25/16
2	REVISED PER CITY PLANNING CONDITIONS OF APPROVAL	RRG	2/24/16
1	REVISED PER CITY PLANNING COMMENTS	RRG	12/16/15
	REVIEWS	DATE	BY

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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HARTFORD, NEW YORK 14150
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PHONE: 585-577-7360
FAX: 585-577-7369



CULVER ROAD ARMORY
BUILDING 3
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK

PROJECT

LOCATION

CLIENT

WHITNEY BARO ASSOCIATES, LLC.
2080 E. STATE ST. SUITE 200
ROCHESTER, NY 14604

DRAWING TITLE

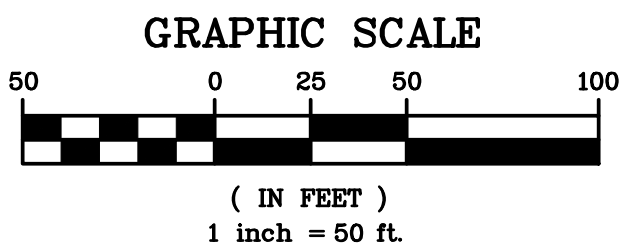
SITE PLAN

PROJECT MANAGER	
P.G. VARS	
PROJECT ENGINEER	
J. CRETEKOS	
DRAWN BY	
R. GLITCH	
SCALE	DATE ISSUED
1"=50'	AUGUST, 2015
PROJECT NO.	
2293	
DRAWING NO.	
29	



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE

EXISTING ASPHALT PAVEMENT, CONCRETE CURB, CONCRETE SIDEWALKS, AND CONCRETE RETAINING WALLS TO BE REMOVED FROM THE SITE AS NECESSARY. ASPHALT MAY BE MILLED AND RE-USED FOR PROPOSED ASPHALT SUB-BASE AS APPROVED BY THE OWNER.



PHELPS AND GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, TOWN LOT 44, TAX ACCOUNT NUMBERS 121.68-03-1.2, 121.68-03-1.1 & 122.61-01-18

7			
6	REVISED PER UPDATED BUILDING FOOTPRINT		JGC
5	REVISED PER CITY & AGENCY COMMENTS		4/15/21
4	REVISED PER AGENCY COMMENTS		1/17/20
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2	REVISED PER CITY PLANNING CONDITIONS OF APPROVAL		5/26/16
1	REVISED PER CITY PLANNING COMMENTS		2/24/16
	REVISIONS		12/18/15
			BY

BME ASSOCIATES
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FAIRPORT, NEW YORK 14450
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PHONE 585.577.7260
FAX 585.577.7309



PROJECT	CULVER ROAD ARMORY
LOCATION	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK
CLIENT	WATNEY-BAND ASSOCIATES, LLC. 205 ST. PAUL ST. SUITE 200 ROCHESTER, NY 14604
DRAWING TITLE	EXISTING CONDITIONS & DEMO PLAN

PROJECT MANAGER	
P. VARS	
PROJECT ENGINEER	
J. CRETEKOS	
DRAWN BY	
R. GLITCH	
SCALE	DATE ISSUED
1"=50'	AUGUST, 2015
PROJECT NO.	
2293	
DRAWING NO.	
30	

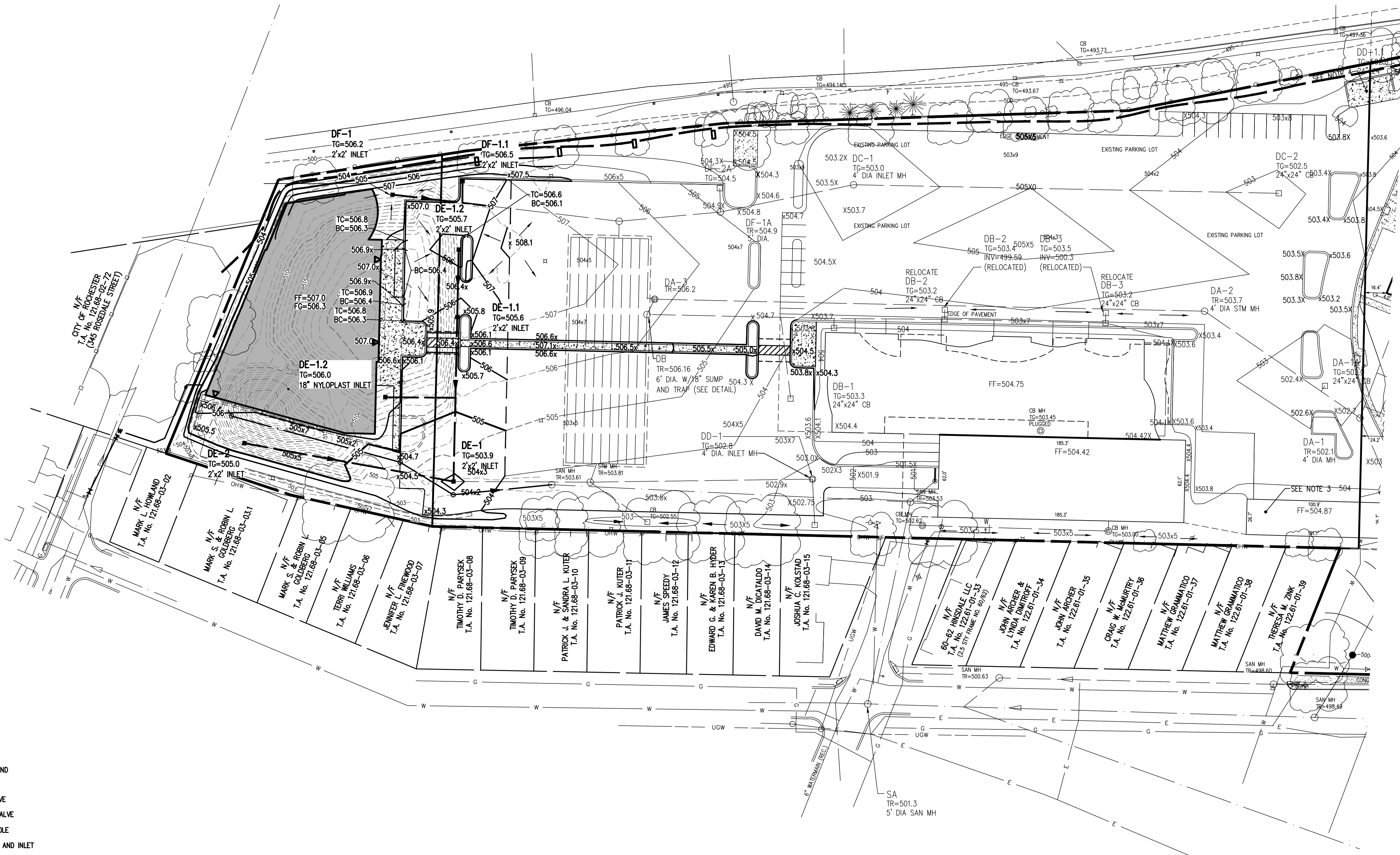
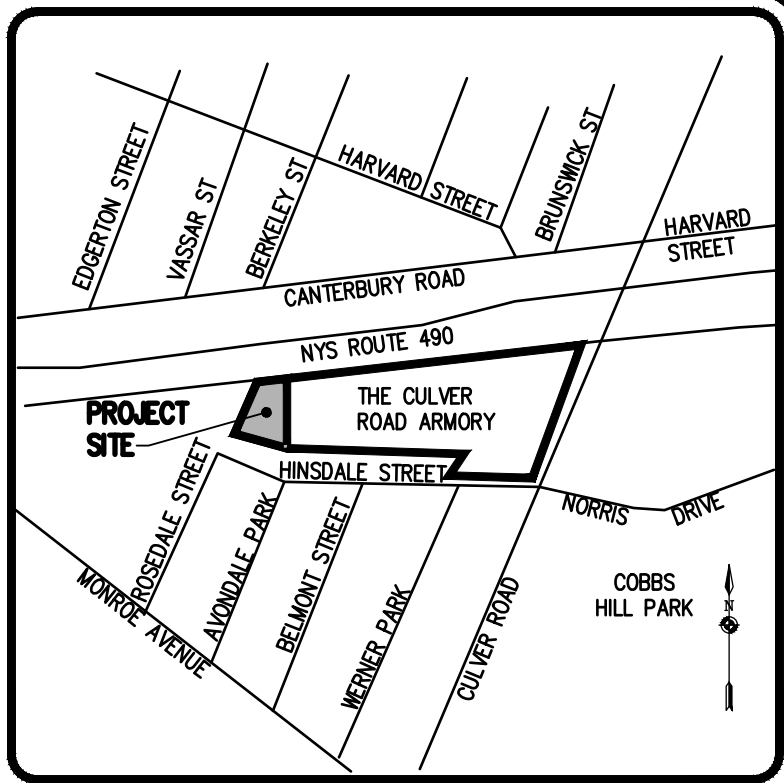
Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is on the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
4. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORDS PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
5. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
6. THE OWNER WILL BE RESPONSIBLE FOR IMPLEMENTING THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN, INCLUDING THE FILING OF A "NOTICE OF INTENT" PRIOR TO CONSTRUCTION START. THE OWNER, HIS CONTRACTOR, SUB-CONTRACTORS AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THIS PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT GP-0-10-001 FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
7. ALL LOAD BEARING FILL SHOULD BE COMPACTED IN LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 (STANDARD PROCTOR) AND/OR PER THE RECOMMENDATION OF A GEOTECHNICAL ENGINEER.



1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE CITY OF ROCHESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH NYSDEC GENERAL PERMIT GP-0-10-001.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES SHALL BE DOCUMENTED BY THE OWNER WITH THE ENGINEER AND THE CITY OF ROCHESTER.
4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
5. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE PRIOR TO STARTING CONSTRUCTION.
6. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
7. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
8. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

	<u>LBS/ACRE</u>	<u>LBS/1000 SQ. FT.</u>
ANNUAL RYE GRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+INOCULANTS)	4	0.1

9. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	<u>LBS/ACRE</u>	<u>% BY PURITY</u>	<u>%GERM</u>
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT

10. SLOPES 3:1 OR GREATER SHALL BE SEEDED WITH HEAVY MULCH AND MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6" TOPSOIL AND SEEDED WITH FOLLOWING SEED MIX:

	<u>LBS/ACRE</u>	<u>%BY PURITY</u>	<u>%GERM</u>
PENNIGFT CROWN VETCH	40	98	65
BIRDSFOOT TREFOIL	15	98	90
TALL FESCUE	20	90	85

SEEDING RATE: 75 LBS PER ACRE
LIME: RATE OF 1,000 LBS PER ACRE AS NECESSARY BY THE
MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S
RATE RECOMMENDED RATE)
MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING
METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.

11. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 75% SHALL BE RE-SEEDED.
12. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
13. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
14. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION OF THE OWNER MUST FILE A NOTICE OF TERMINATION (NOT) WITH MVS&P PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-10-001. PLEASE NOTE THAT THE M&S MUST SIGN THE NOTICE OF TERMINATION.

STEP 1: (SITE PREPARATION)

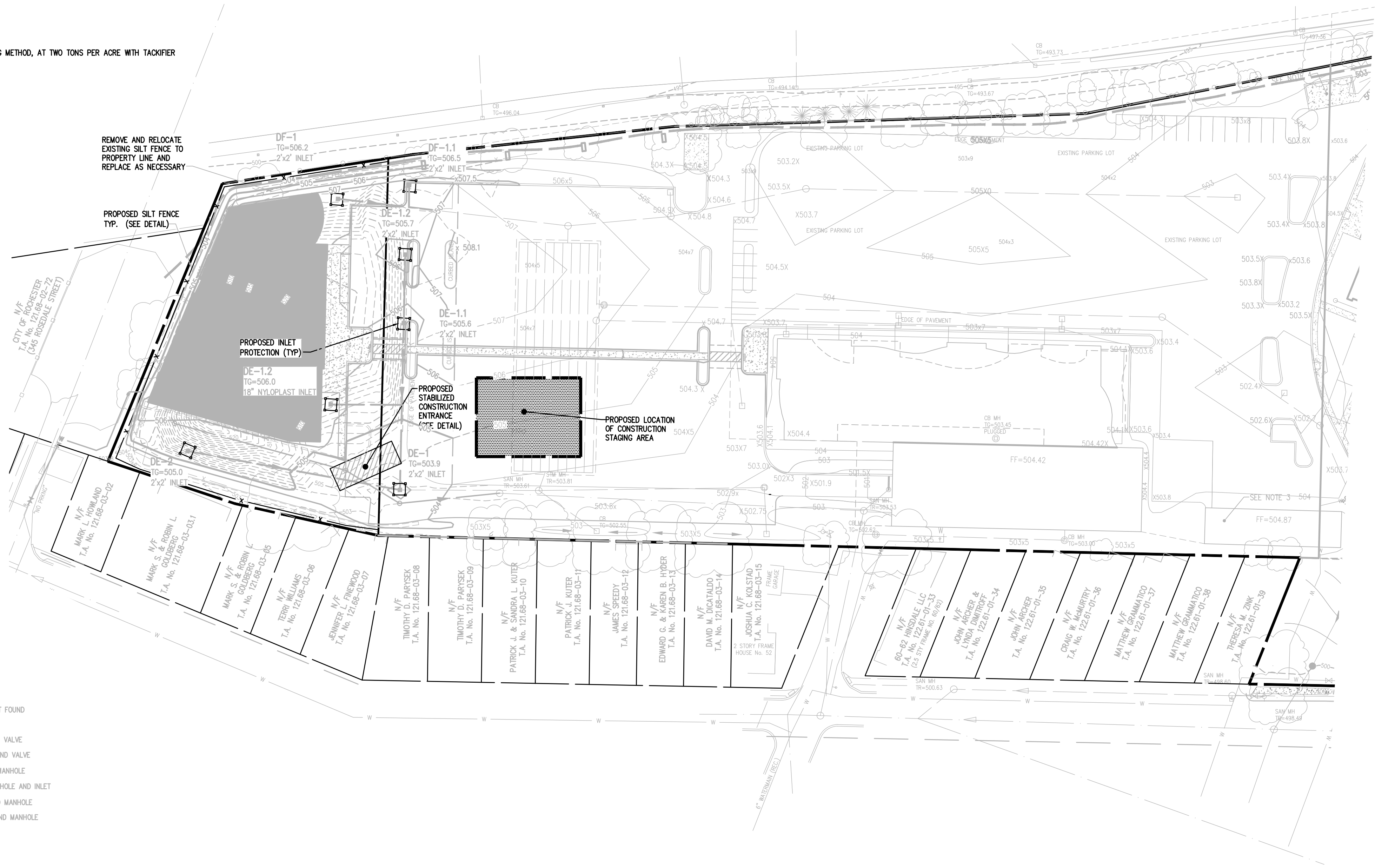
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AS REQUIRED FOR PERIMETER SILT FENCE INSTALLATION.
- REMOVE EXISTING AND INSTALL PERIMETER SILT FENCE.
- CLEAR AND GRUB SITE AS NECESSARY.

STEP 2: (CONSTRUCTION ACTIVITY)

- EXISTING AND REMAINING STOCKPILED FILL TO BE REMOVED FROM THE SITE AS NECESSARY IN BUILDING AREAS, AND PARKING AREAS.
- COMMENCE MASS GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, AND TEMPORARY SEDIMENT TRAPS. MEASURES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE DISTRICT ENGINEER. SEED AND MULCH CONTRIBUTE TO SEED AND MULCH DISTURBED AREAS WITHIN 7 DAYS OF COMPLETION.
- CONTRACTOR TO RE-SLOPE, FINE GRADE, MULCH AND SEED SLOPE AREAS IMMEDIATELY AFTER COMPLETION OF ROUGH GRADING. SILT FENCE TO BE INSTALLED AT THE TOE OF SLOPE.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDDED WITHIN 7 DAYS OF COMPLETION.
- SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS. AS REQUIRED BY GP-0-10-001. SEED WITH A SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE NOTES.

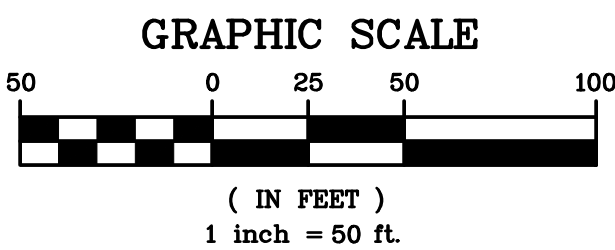
STEP 3: (STABILIZATION & MONITORING)

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED.
- INSTALL CURB AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- MONITOR STORMWATER DETENTION FACILITY AND SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERMETER SILT FENCE
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE CITY OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR CITY OF ROCHESTER.



LEGEND

-
- BOUNDARY LINE
 PROPOSED LOT LINE
 CENTERLINE
 SETBACK LINE
 PROPERTY MARKER FOUND
 CONCRETE HIGHWAY MONUMENT FOUND
 WOOD FENCE POST FOUND
 EX. WATERMAIN, HYDRANT AND VALVE
 PROP. WATERMAIN, HYDRANT AND VALVE
 EXISTING STORM SEWER, AND MANHOLE
 PROPOSED STORM SEWER, MANHOLE AND INLET
 EXISTING SANITARY SEWER AND MANHOLE
 PROPOSED SANITARY SEWER AND MANHOLE
 EXISTING TREELINE
 PROPOSED TREE LINE
 EXISTING CONTOUR
 DESIGN GRADES FROM PHASE 1 CONSTRUCTION
 PROPOSED CONTOUR
 PROPOSED FINISHED GRADE
 PROPOSED INLET PROTECTION
 PROPOSED SILET FENCE



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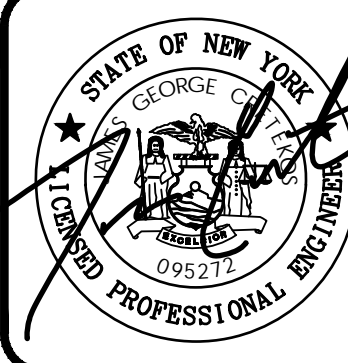
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7				
6				
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4	REVISED PER UPDATED BUILDING FOOTPRINT	4/15/21	JGC	
3	REVISED PER CITY & AGENCY COMMENTS	1/17/20	RG	
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1	REVISED PER CITY PLANNING COMMENTS	12/18/15	RG	
	REVISIONS	DATE	BY	

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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FAIRPORT, NEW YORK 14450
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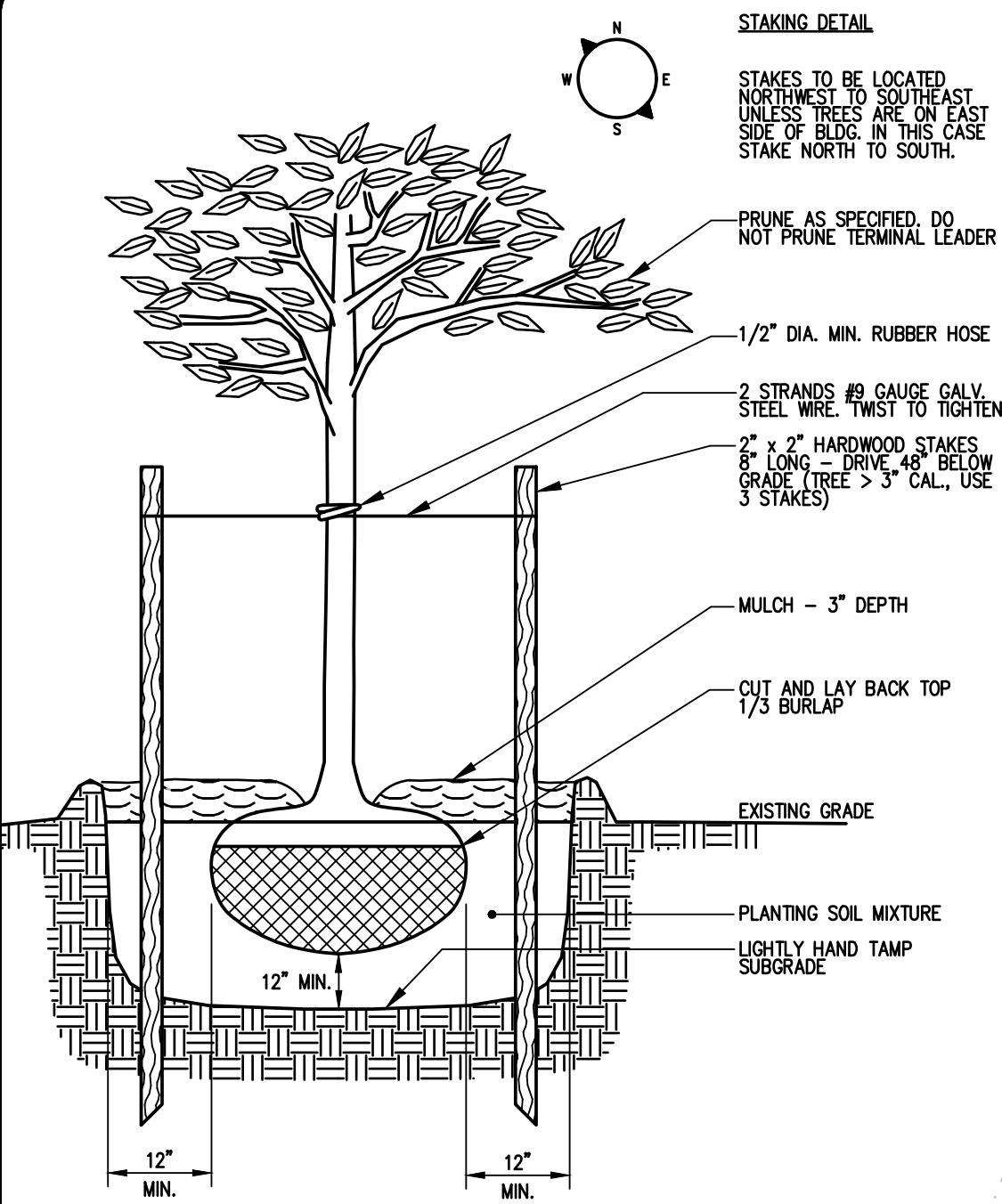
CULVER ROAD ARMORY
BUILDING 3
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK

WHITNEY BARO ASSOCIATES, LLC.
205 ST. PAUL ST. SUITE 200
ROCHESTER, NY 14604

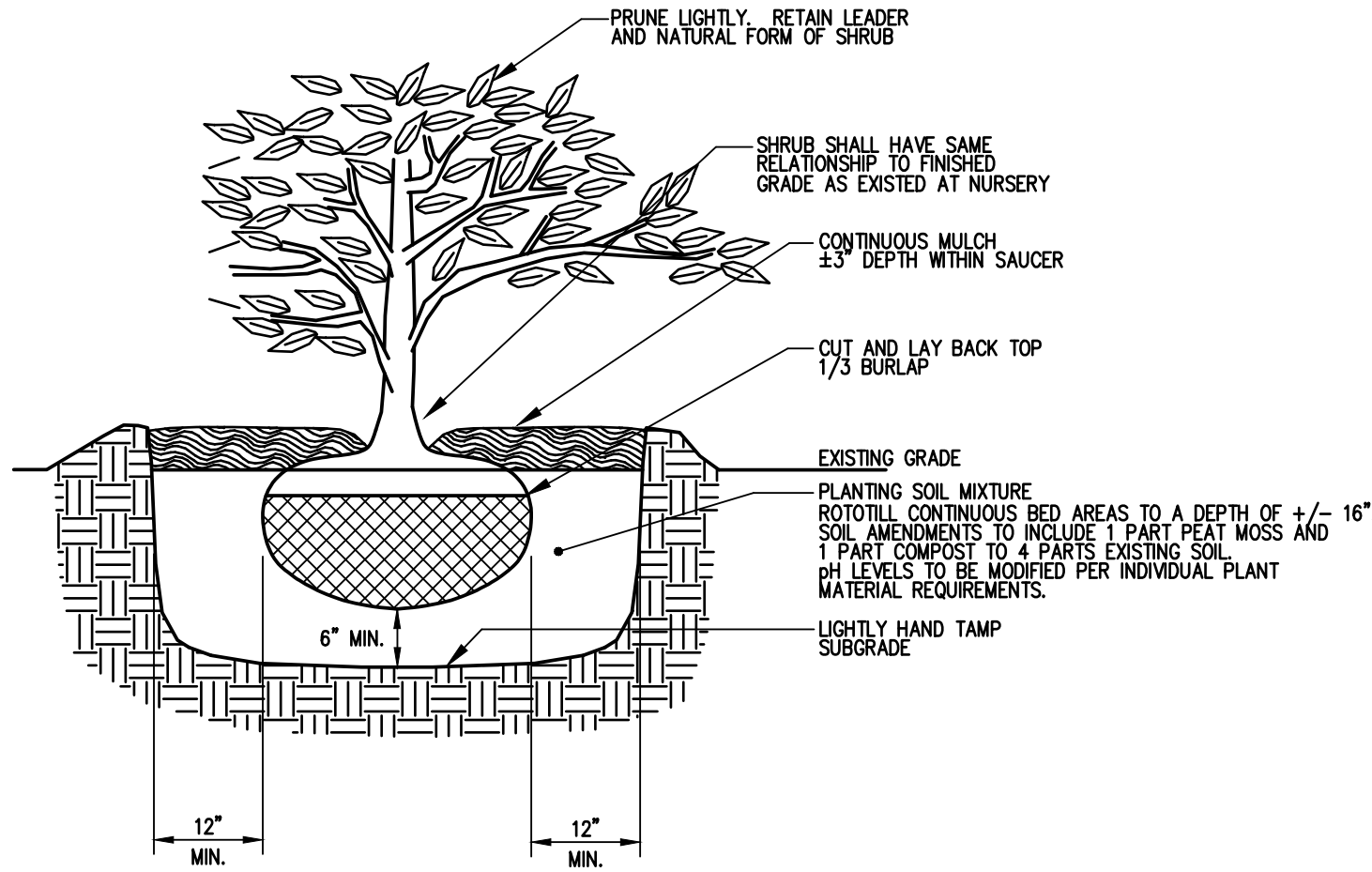
CONSTRUCTION EROSION

PROJECT MANAGER	
P. VARS	
PROJECT ENGINEER	
J. CRETEKOS	
DRAWN BY	
R. GLITCH	
SCALE	DATE ISSUED
1"=50'	AUGUST, 2015
PROJECT NO.	
2293	
DRAWING NO.	

PHELPS AND GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, TOWN LOT 44, TAX ACCOUNT NUMBERS 121.68-03-1.1 & 122.61-01-18



TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

LANDSCAPE NOTES:

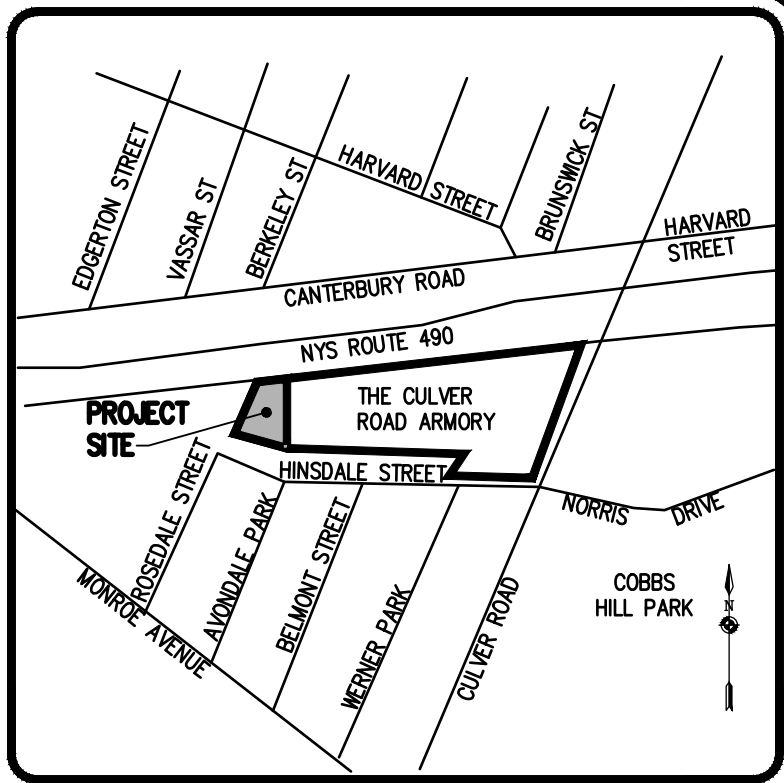
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS: 100 % SHREDDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.

A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:	% BY WEIGHT	% BY PURITY	% GERM
PENNINE PERENNIAL RYE GRASS	40	97	90
PENNLAWN RED FESCUE	40	97	85
COMMON KENTUCKY BLUEGRASS	10	85	80
ANNUAL RYE GRASS	10	98	90

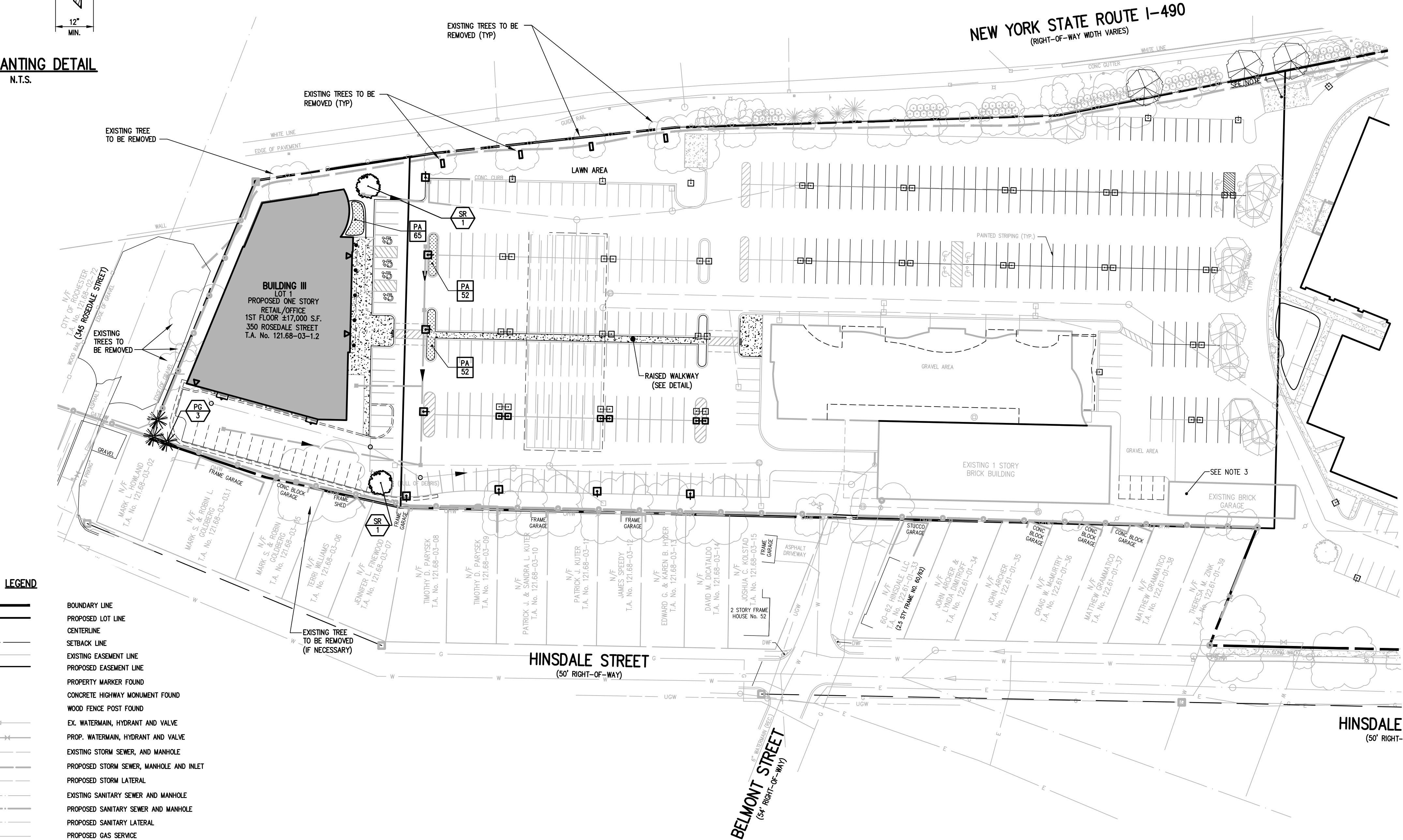
SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.
- PLEASE REFER TO BME DRAWING # 2293-33 / CONSTRUCTION EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE : TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.
- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.
- A MINIMUM ONE (1) YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.

PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
2	SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2" cal	B&B	
3	PG	Picea glauca 'Densata'	White Spruce	5'-6'	B&B	
GRASSES / PERENNIALS						
169	PA	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 Qt.	cont.	plant spacing @ 24"

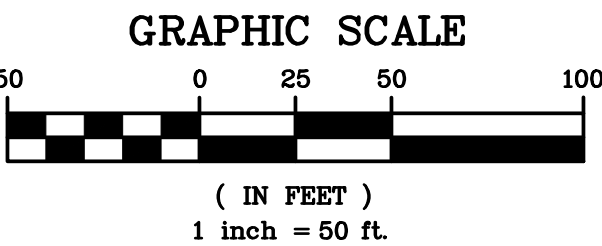


LOCATION MAP
NOT TO SCALE



LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- WOOD FENCE POST FOUND
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- PROPOSED STORM LATERAL
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY LATERAL
- PROPOSED GAS SERVICE
- PROPOSED UNDERGROUND ELECTRIC



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

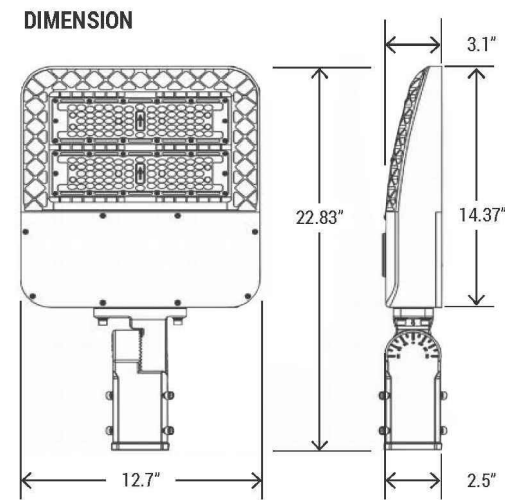
NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3	REVISED PER UPDATED BUILDING FOOTPRINT	4/15/21	SGC
2	REVISED PER CITY & AGENCY COMMENTS	1/17/20	IRG
1	REVISED PER CITY PLANNING COMMENTS	12/15/15	IRG

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
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ROCHESTER, NEW YORK 14650
WWW.BME-USA.COM
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FAX: 585-577-7369

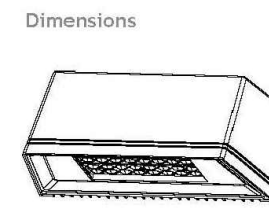


CULVER ROAD ARMORY
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK
PROJECT MANAGER: P. VARS
PROJECT ENGINEER: J. CRETEKOS
DRAWN BY: R. GLITCH
SCALE: 1"=50'
DATE ISSUED: JULY, 2015
PROJECT NO.: 2293
DRAWING NO.: 34

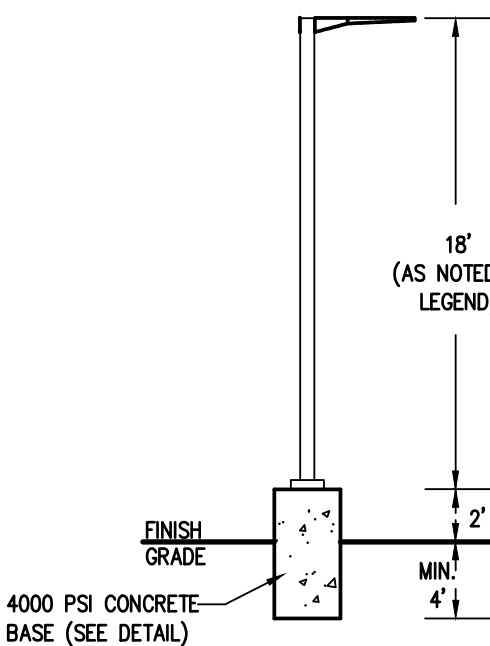
PHILIPS AND GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, TOWN LOT 44, TAX ACCOUNT NUMBERS 121.68-03-1.2, 121.68-03-1.1 & 122.61-01-18



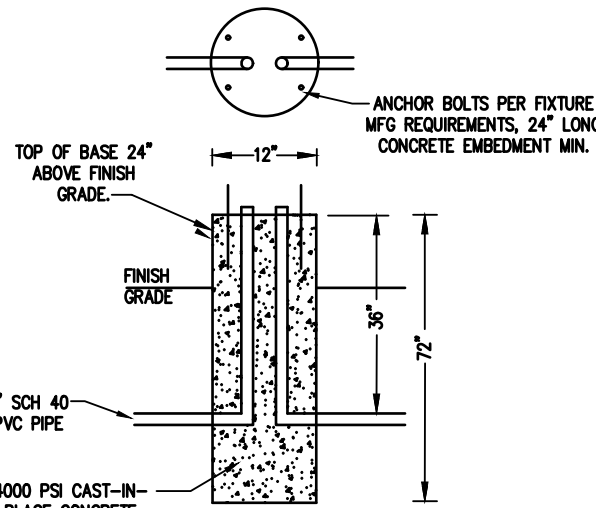
LIGHT FIXTURE DETAIL
N.T.S.



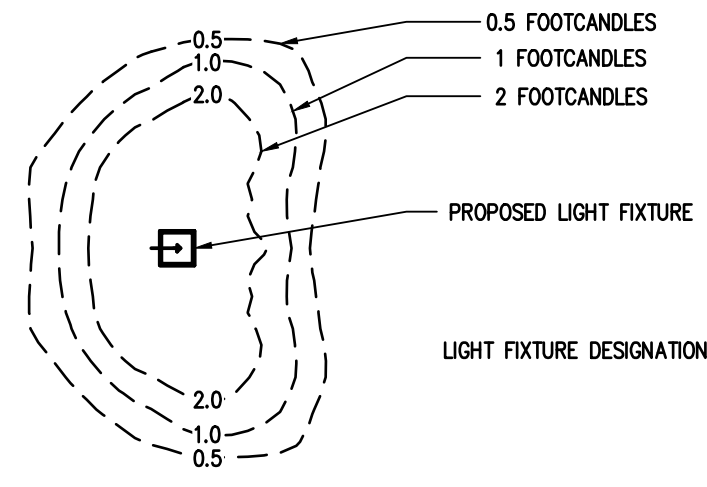
BUILDING MOUNTED LIGHT FIXTURE DETAIL



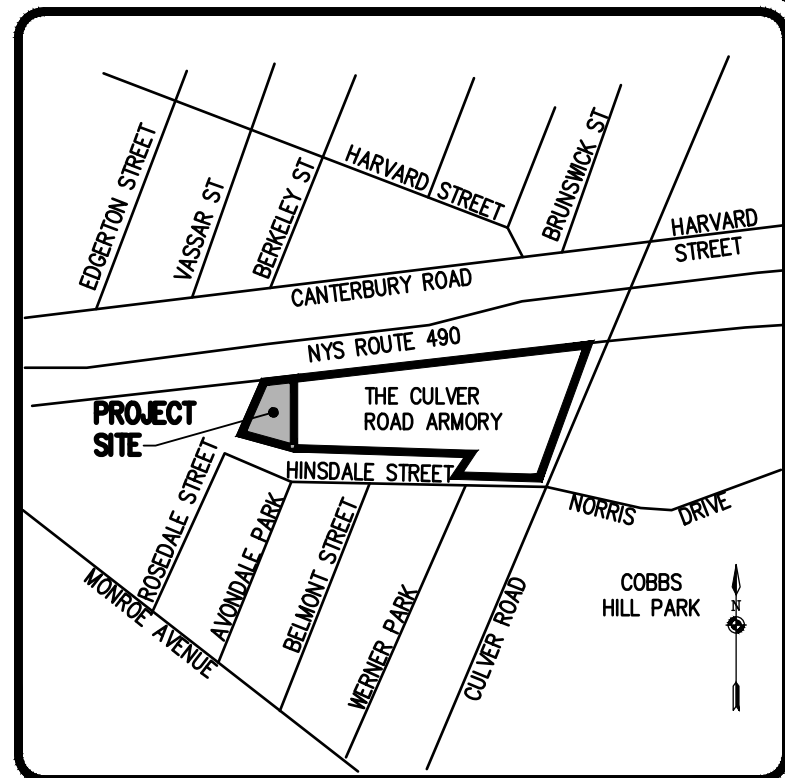
**20' MOUNTING HEIGHT
LIGHT POLE DETAIL**
NTS



LIGHT POLE BASE DETAIL
N.T.S.



TYPICAL ISOFOOTCANDLE LEVELS
N.T.S.

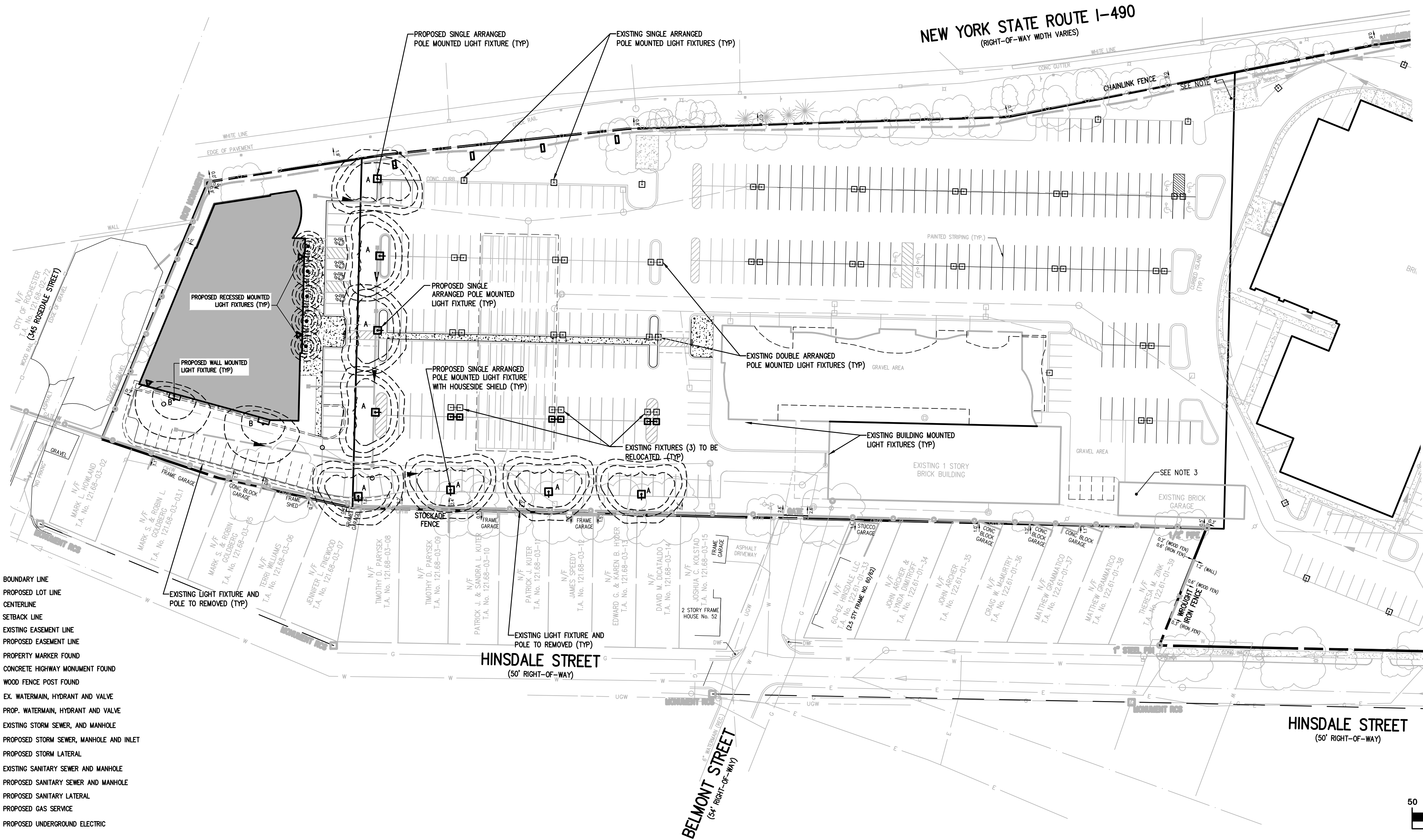


LOCATION MAP
NOT TO SCALE

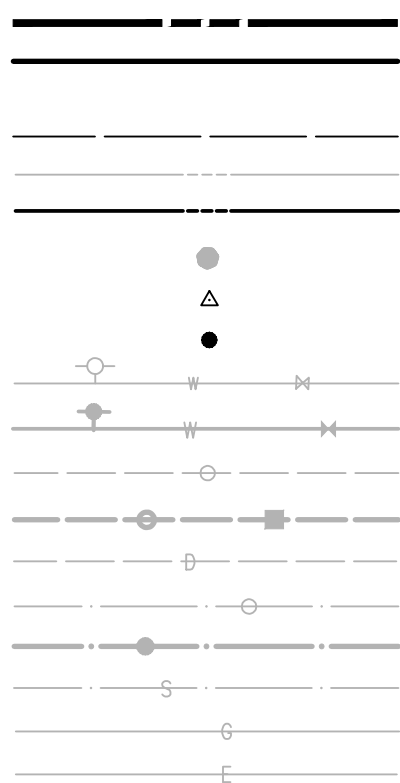
LUMINAIRE SCHEDULE						
SYMBOL	QTY	CATALOGUE NUMBER	ARRANGMENT	LUMENS/LAMP	LLF	POLE DESCRIPTION
●	5	REAL6 D6 BN-ESL-600L-30K-.60SC	RECESSED	600	0.800	14' N/A Lithonia Lighting Reality Series 6" LED Module
⊞A	8	HG-SL-150W	SINGLE	17,531	0.720	20' 18' HG-SL-150W Series Poritor Lighting Luminaire with Type III Distribution
⊞B	2	101L-16L-700-NW-G1-4-UNV-MYG	WALL MOUNT	3,535	0.720	20' N/A 101L Signify Sconce LED Wall Mount Luminaire with Arm & Type IV Distribution

LIGHTING NOTES:

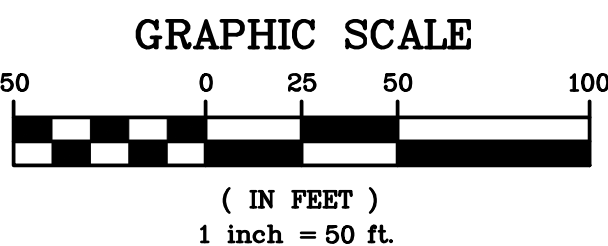
- PROPOSED PARKING LOT LIGHTING TO BE PROVIDED AS DETAILED IN LIGHTING SCHEDULE.
- SITE LIGHTING TO BE A 18" SQUARE FULL CUTOFF LUMINAIRE WITH 150W LED AND BRONZE PAINT FINISH WITH BUTTON PHOTO-CONTROL. (OR APPROVED EQUIVALENT)
- POLE TO BE THOMAS EMCO STRAIGHT STEEL POLE THOMAS EMCO CAT #SSS-18-4-11-BPR (BRONZE PAINT FINISH) QTY:7 #SSS-22-4-11-BPR (BRONZE PAINT FINISH) QTY:1
- PROVIDE 4 LIGHT POLES WITH ELECTRIC OUTLETS. LOCATIONS TO BE DETERMINED BY OWNER.
- SITE LIGHTING TO BE SUPPLEMENTED WITH BUILDING MOUNTED LIGHTING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

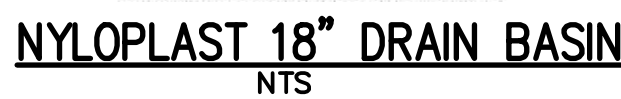
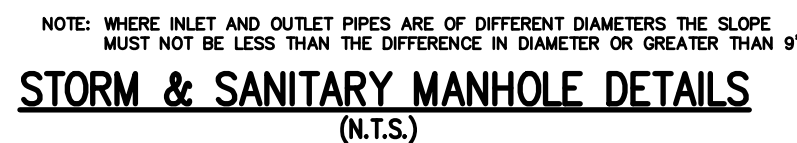
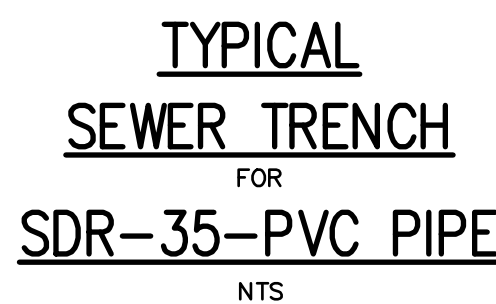


LEGEND

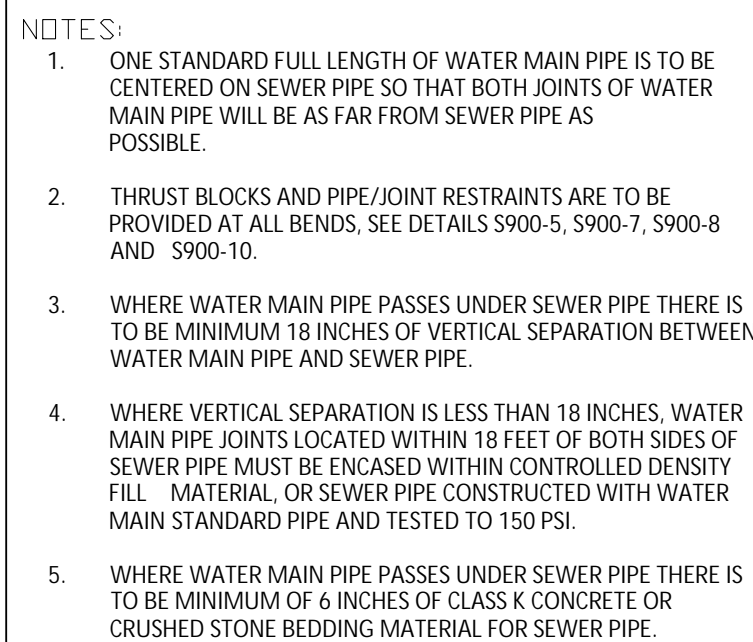


BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
WOOD FENCE POST FOUND
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
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PROPOSED STORM SEWER, MANHOLE AND INLET
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EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
PROPOSED SANITARY LATERAL
PROPOSED GAS SERVICE
PROPOSED UNDERGROUND ELECTRIC



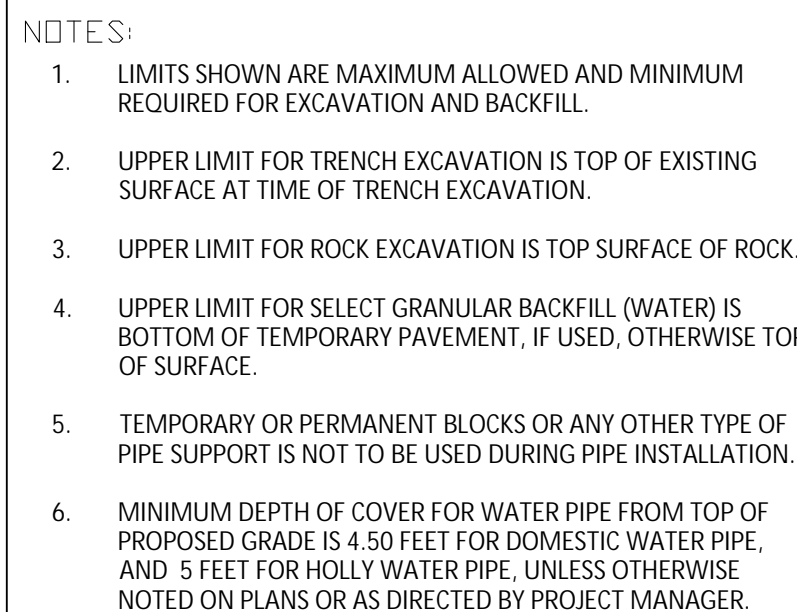


This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



CITY OF ROCHESTER
WATER MAIN
CROSSING BELOW
SEWER PIPE

ISSUED	1-13-06	NON-STANDARD DWG.NO.S900-3
REVISED	11-22-10	



WATER TRENCH PAVEMENT REHABILITATION

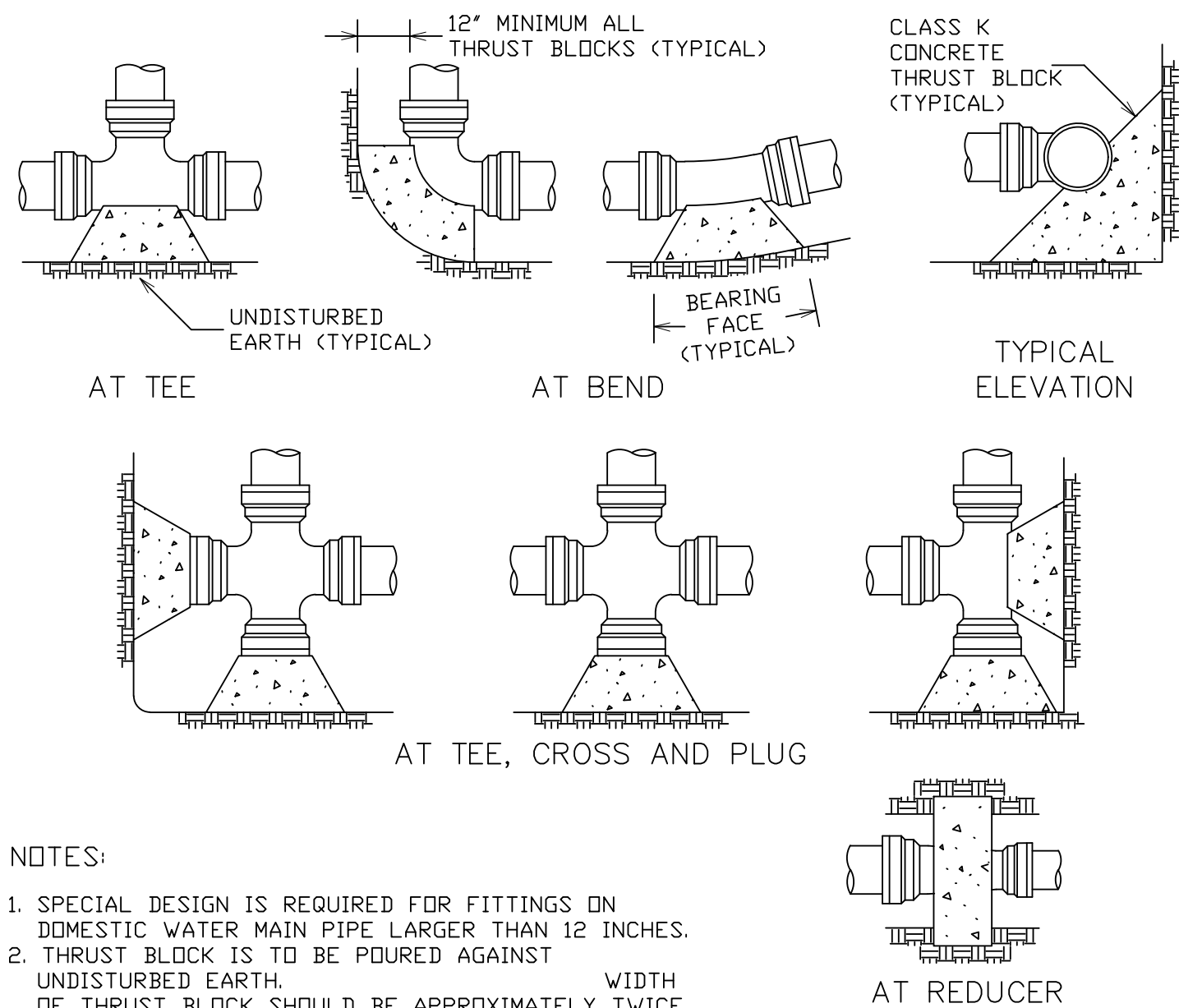
ISSUED	1-13-08	NON-STANDARD DWG.NO.S900-2
REVISED	11-22-10	

NOTES:

1. SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
2. MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK, SEE DETAIL S900-7.

VERTICAL
THRUST BLOCK
DOMESTIC SYSTEM

ISSUED	1-13-06	NON-STANDARD DWG NO S900-5
REVISED	2-1-06	



1. SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
2. THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
3. THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS.
4. FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
5. FOR REDUCERS, THRUST BLOCK IS TO BE KEYED INTO WALLS AND BOTTOM OF TRENCH.
6. MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK, SEE DETAIL S900-7.
7. WOOD BLOCKING IS NOT PERMITTED.

HORIZONTAL
THRUST BLOCK
DOMESTIC SYSTEM

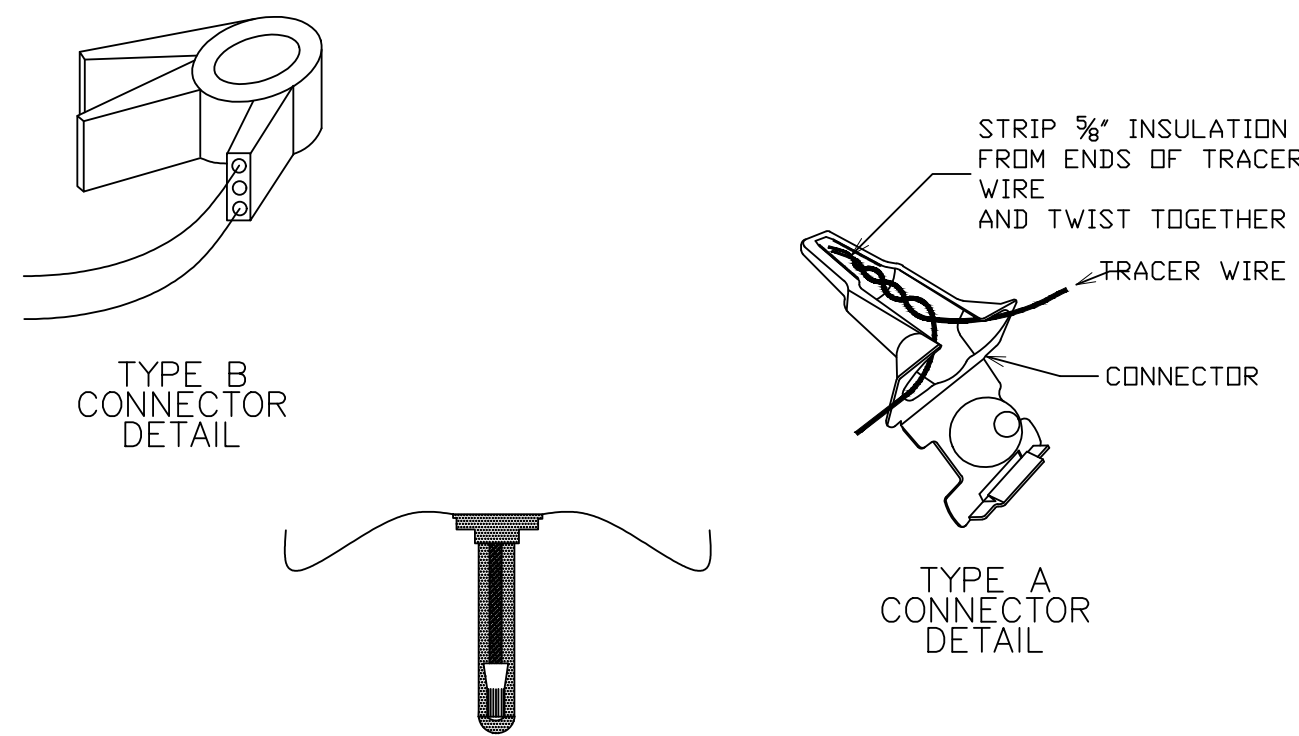
ISSUED	1-13-06	NON-STANDARD DWG.NO.S900-4
REVISED	8-7-13	

7						
6						
5						
4						
3	REVISED PER AGENCY COMMENTS	8/1/16	RRC			
2	REVISED PER CITY PLANNING AND AGENCY COMMENTS	5/28/16	RRC			
1	REVISED PER CITY PLANNING COMMENTS	12/18/15	RRC			
	REVISIONS	DATE	BY			

ROCHESTER, MONROE COUNTY, NEW YORK

LOCATION

37
(SHEET 2 OF 5)



CITY OF ROCHESTER
PLASTIC WATER MAIN TRACER WIRE END TO END SPLICE CONNECTION

ISSUED	6-1-09	NON-STANDARD
REVISED	2-19-15	DWG NO S901-10



CITY OF ROCHESTER
NEW WATER SERVICE
4 INCH AND LARGER
ON EXISTING
WATER MAIN

ISSUED	8-8-11	NON-STANDARD
REVISED		DWG NO S970-4



3. THE CONTRACTOR SHALL MAKE AND SHORE THE EXCAVATION, CLEAN THE AREA OF THE WATER MAIN FOR THE TAP, ATTACH THE TAPPING SLEEVE AND VALVE TO THE MAIN FOR SERVICES 4-INCH DIAMETER AND LARGER OR ATTACH THE TAPPING SADDLE (WHERE REQUIRED) TO THE MAIN FOR SERVICES 2-INCH DIAMETER AND SMALLER AND INSURE THAT THE WORK AREA IS READY FOR INSPECTION BY BUREAU PERSONNEL PRIOR TO MAKING THE TAP.

MINIMUM CLEARANCE DIMENSIONS			
EXCAVATION FOR	A	B	C
SMALL SERVICE TAP (2-INCH AND SMALLER)	0'-6"	5'-0"	4'-0"
LARGE SERVICE TAP (4-INCH AND LARGER)	1'-0"	7'-0"	4'-0"

WATER SERVICE TAP EXCAVATION

ISSUED	4-29-11	NON-STANDARD
REVISED		DWG NO S900-12

CITY OF ROCHESTER

DISINFECTION
SAMPLING TAP

ISSUED	1-13-06	NON-STANDARD DWG.NO.S900-6
REVISED	2-19-15	



LUG STYLE

TAP SPLICE CONNECTION IS TO BE USED FOR CONNECTING WATER SERVICE TRACER WIRE TO WATER MAIN TRACER WIRE WITH CONNECTION BEING MADE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

CITY OF ROCHESTER

PLASTIC WATER SERVICE TRACER WIRE TAP SPLICE CONNECTION

ISSUED	6-1-09	NON-STANDARD DWG. NO. S901-11
REVISED		



1. FOR CLASS 1, 2 AND 3 FIRE SYSTEMS, FURNISH WITH DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) PER DETAIL S970-B.
2. FOR CLASS 4 AND 5 FIRE SYSTEMS OR WHEN SERVICE IS LOCATED WITHIN 1,700 FEET OF HOLLY SYSTEM OR RIVER, FURNISH WITH REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA).
3. GATE VALVES SHALL BE OS&Y RISING STEM, RESILIENT SEATED, FLANGED END, OPEN LEFT AND SHALL BE UL/FM APPROVED.
4. DCDA AND RPDA SHALL HAVE AN EPOXY COATED CAST OR DUCTILE IRON BODY, FLANGED ENDS, BE UL/FM APPROVED AND APPROVED BY THE FOUNDATION FOR CROSS-CONNECTING CONTROL AND HYDRAULIC RESEARCH AT THE UNIVERSITY OF SOUTHERN CALIFORNIA. DCDA AND RPDA SHALL HAVE TRIM KIT FOR BY-PASS METER AND APPURTENANCES.
5. BYPASS PIPING ON DCDA AND RPDA SHALL BE 3/4 INCH COPPER OR BRASS. BYPASS FITTINGS AND VALVES SHALL BE BRASS

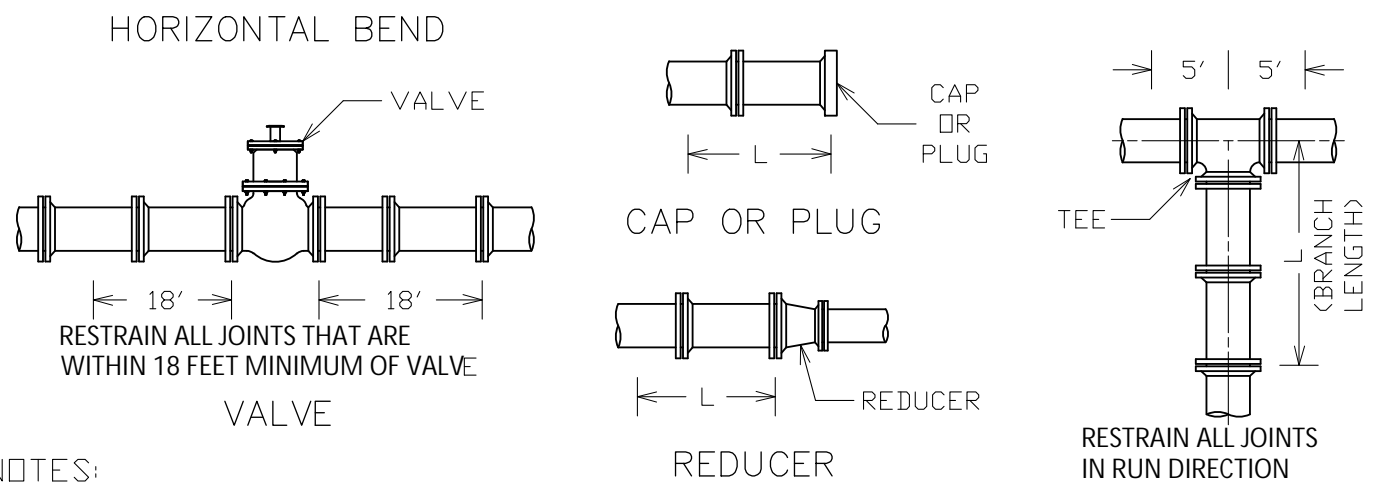
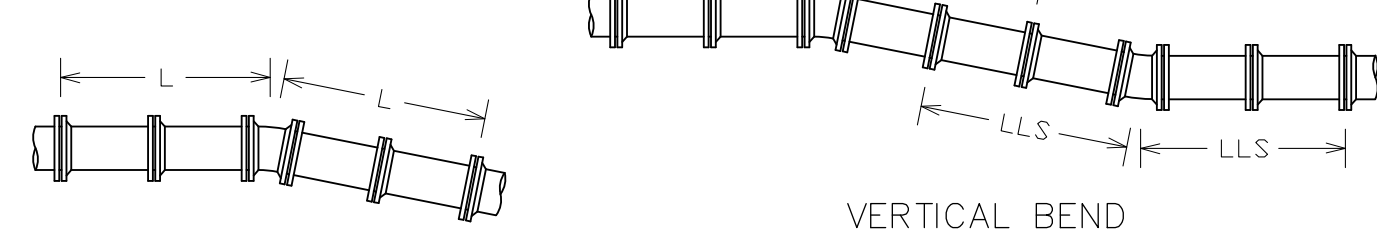
CITY OF ROCHESTER

**TYPICAL COMBINATION
FIRE AND DOMESTIC
SERVICE**

ISSUED	8-8-11	NON-STANDARD DWG.NO.S970-9
REVISED	3-8-12	

MINIMUM RESTRAINED LENGTH FOR WATER MAIN PIPE ADJACENT TO FITTINGS (IN FEET) (BASED ON INTERNAL PRESSURE OF 150 PSI) (SEE NOTE 1)								
PIPE SIZE (INCHES)	MINIMUM LENGTH	90°	45°	22-1/2°	11-1/4°	REDUCER	TEE	CAP PLUG
4" - 6"	L	16	7	3	2	29	16	56
	LHS	49	24	12	6	---	---	---
8"	L	20	9	4	2	31	33	74
	LHS	64	31	15	8	---	---	---
12"	L	28	12	6	3	56	64	105
	LHS	91	44	21	11	---	---	---
	LLS	28	11	5	3	---	---	---

* L = HORIZONTAL LENGTH
LHS = VERTICAL HIGH SIDE LENGTH
LLS = VERTICAL LOW SIDE LENGTH

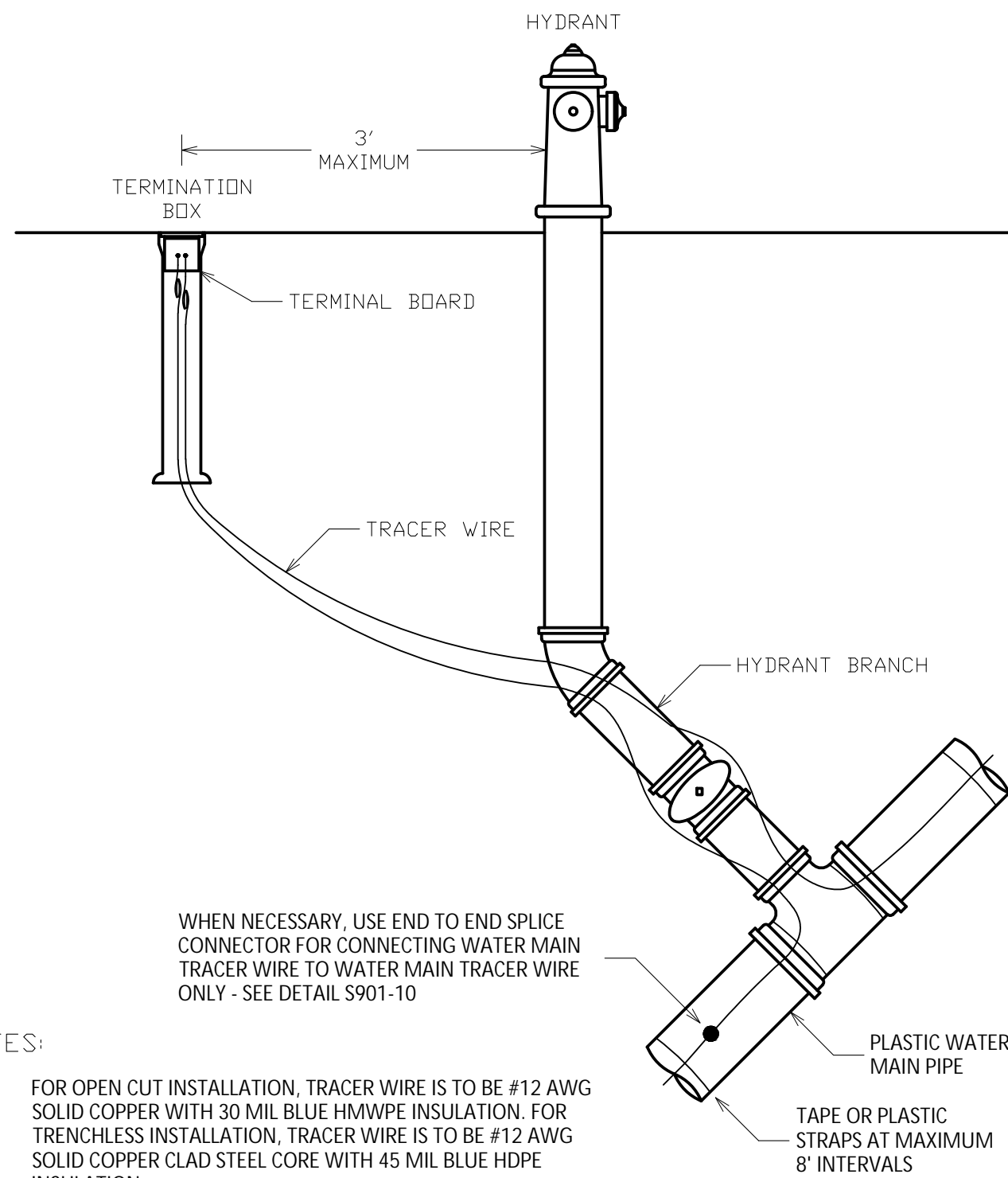


NOTES:

- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES AND FOR REDUCERS HAVING MORE THAN ONE PIPE SIZE DIFFERENCE.
- CONCRETE THRUST BLOCK IS TO BE USED IN ADDITION TO MECHANICAL RESTRAINT DEVICES, SEE DETAILS S900-4 AND S900-5.
- ALL PLASTIC AND POLYETHYLENE WRAPPED DUCTILE IRON DOMESTIC WATER MAIN PIPE AND FITTING JOINTS WITHIN L-HS-LLS DIMENSIONS MUST BE RESTRAINED USING APPROVED MECHANICAL RESTRAINT DEVICE.
- ASSUMPTION: SP SOILS, 4.50 FEET COVER, AND TYPE 4 LAYING CONDITION.

CITY OF ROCHESTER WATER MAIN PIPE RESTRAINT DOMESTIC SYSTEM

ISSUED 5-8-08 NON-STANDARD
REVISED 9-1-09 DWG.NO.S900-7



NOTES:

- FOR OPEN CUT INSTALLATION, TRACER WIRE IS TO BE #12 AWG SOLID COPPER WITH 30 MIL BLUE HMWPE INSULATION. FOR TRENCHLESS INSTALLATION, TRACER WIRE IS TO BE #12 AWG SOLID COPPER CLAD STEEL CORE WITH 45 MIL BLUE HDPE INSULATION.
- FOR PLASTIC WATER MAIN PIPE, TRACER WIRE IS TO RUN ALONG TOP OF AND BE SECURED TO WATER MAIN PIPE WITH PLASTIC STRAPS OR TAPE PLACED AT MAXIMUM 8 FEET INTERVALS. AT WATER VALVE, TRACER WIRE IS TO RUN ALONG SIDE OF PLASTIC WATER MAIN PIPE.
- TRACER WIRE IS TO BE CONNECTED TO TERMINATION BOX INSTALLED ADJACENT TO HYDRANT. EXTEND TRACER WIRE UP INSIDE OF TERMINATION BOX LEAVING MINIMUM OF 3 FEET OF TRACER WIRE COILED UP INSIDE TOP OF TERMINATION BOX. CONNECT END OF TRACER WIRE TO TERMINAL BOARD.

CITY OF ROCHESTER

PLASTIC WATER MAIN TRACER WIRE INSTALLATION

ISSUED 1-13-06 NON-STANDARD
REVISED 6-1-09 DWG.NO.S901-8

28" (710mm) TOP	28" (710mm) HALF TOP
Face Texture: Cobble / Limestone Block Weight: 1225 lb (557 kg) Block Volume: 6.57 ft ³ (0.243 m ³) Center of Gravity: 14.5" (378mm)	Face Texture: Cobble / Limestone Block Weight: 973 lb (442 kg) Block Volume: 4.91 ft ³ (0.138 m ³) Center of Gravity: 15.3" (389 mm)
28" (710mm) MIDDLE	28" (710mm) HALF MIDDLE
Face Texture: Cobble / Limestone Block Weight: 1813 lb (732 kg) Block Volume: 11.28 ft ³ (0.319 m ³) Center of Gravity: 13.9" (354 mm)	Face Texture: Cobble / Limestone Block Weight: 748 lb (339 kg) Block Volume: 5.23 ft ³ (0.146 m ³) Center of Gravity: 14.3" (364 mm)
28" (710mm) BOTTOM	28" (710mm) HALF BOTTOM
Face Texture: Cobble / Limestone Block Weight: 1744 lb (791 kg) Block Volume: 12.16 ft ³ (0.345 m ³) Center of Gravity: 14.0" (355 mm)	Face Texture: Cobble / Limestone Block Weight: 809 lb (367 kg) Block Volume: 5.06 ft ³ (0.140 m ³) Center of Gravity: 14.2" (364 mm)

- Units for dimensions are inches (mm), typical unless noted otherwise.
- Confirm block production with licensed Red-Rock manufacturer.
- Center of Gravity is measured from the back of block.
- Actual block volumes and weights may vary.
- Weights are based upon a concrete density of 143 lb/ft³ (2291 kg/m³).

Block Library

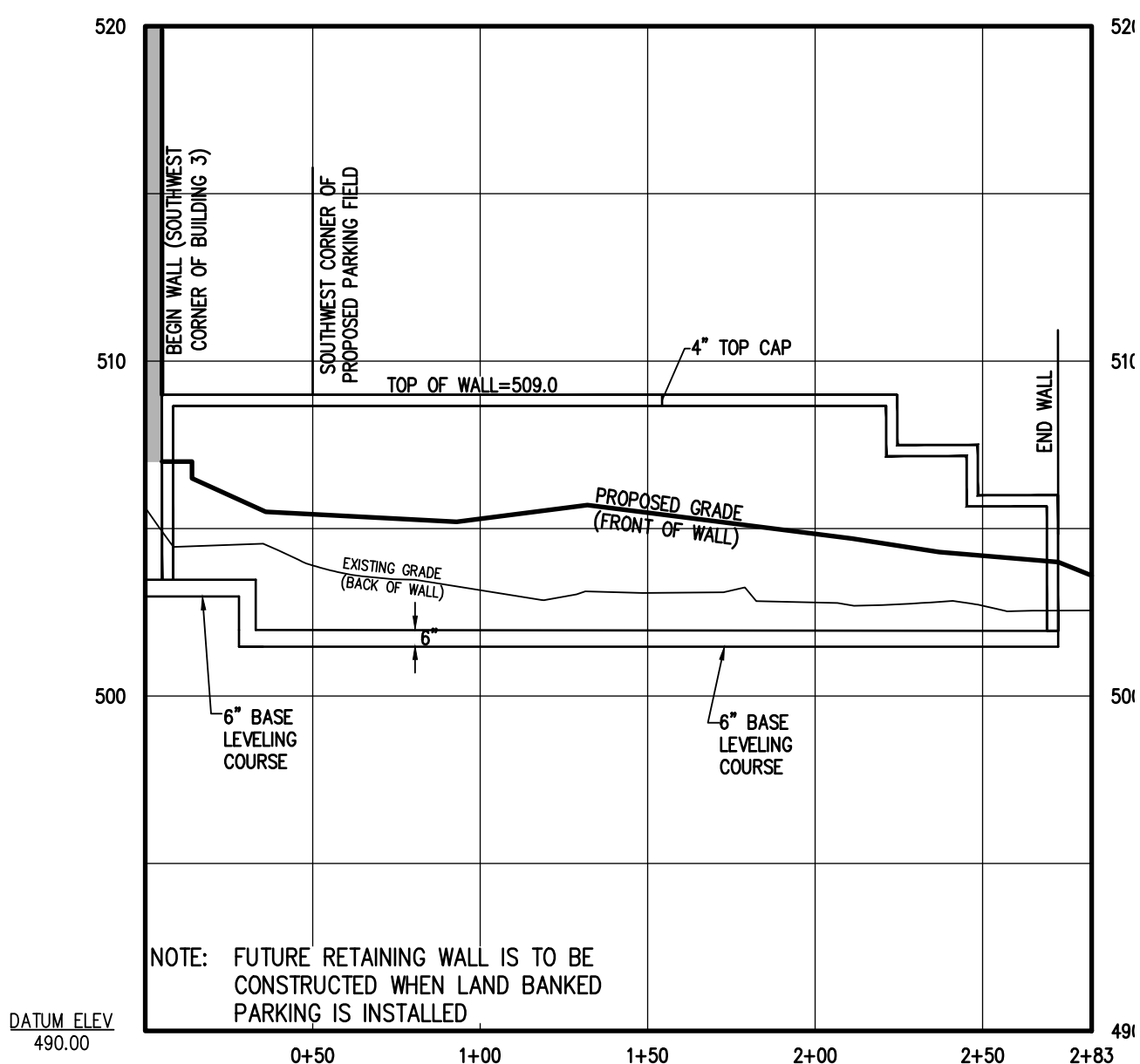
RETAINING BLOCKS
Red-Rock Block Library 060215.dwg

41" (1030mm) TOP *	41" (1030mm) HALF TOP *
Face Texture: Cobble / Limestone Block Weight: 1748 lb (793 kg) Block Volume: 12.22 ft ³ (0.346 m ³) Center of Gravity: 21.5" (546 mm)	Face Texture: Cobble / Limestone Block Weight: 770 lb (350 kg) Block Volume: 5.38 ft ³ (0.15 m ³) Center of Gravity: 22.4" (569 mm)
41" (1030mm) MIDDLE	41" (1030mm) HALF MIDDLE
Face Texture: Cobble / Limestone Block Weight: 2309 lb (1047 kg) Block Volume: 16.14 ft ³ (0.457 m ³) Center of Gravity: 20.4" (518 mm)	Face Texture: Cobble / Limestone Block Weight: 1022 lb (465 kg) Block Volume: 7.14 ft ³ (0.20 m ³) Center of Gravity: 21.4" (543 mm)
41" (1030mm) BOTTOM	41" (1030mm) HALF BOTTOM
Face Texture: Cobble / Limestone Block Weight: 2439 lb (1106 kg) Block Volume: 17.06 ft ³ (0.483 m ³) Center of Gravity: 20.7" (527 mm)	Face Texture: Cobble / Limestone Block Weight: 1045 lb (475 kg) Block Volume: 7.58 ft ³ (0.21 m ³) Center of Gravity: 21.7" (551 mm)

- Units for dimensions are inches (mm), typical unless noted otherwise.
- Confirm block production with licensed Red-Rock manufacturer.
- Center of Gravity is measured from the back of block.
- Actual block volumes and weights may vary.
- Weights are based upon a concrete density of 143 lb/ft³ (2291 kg/m³).

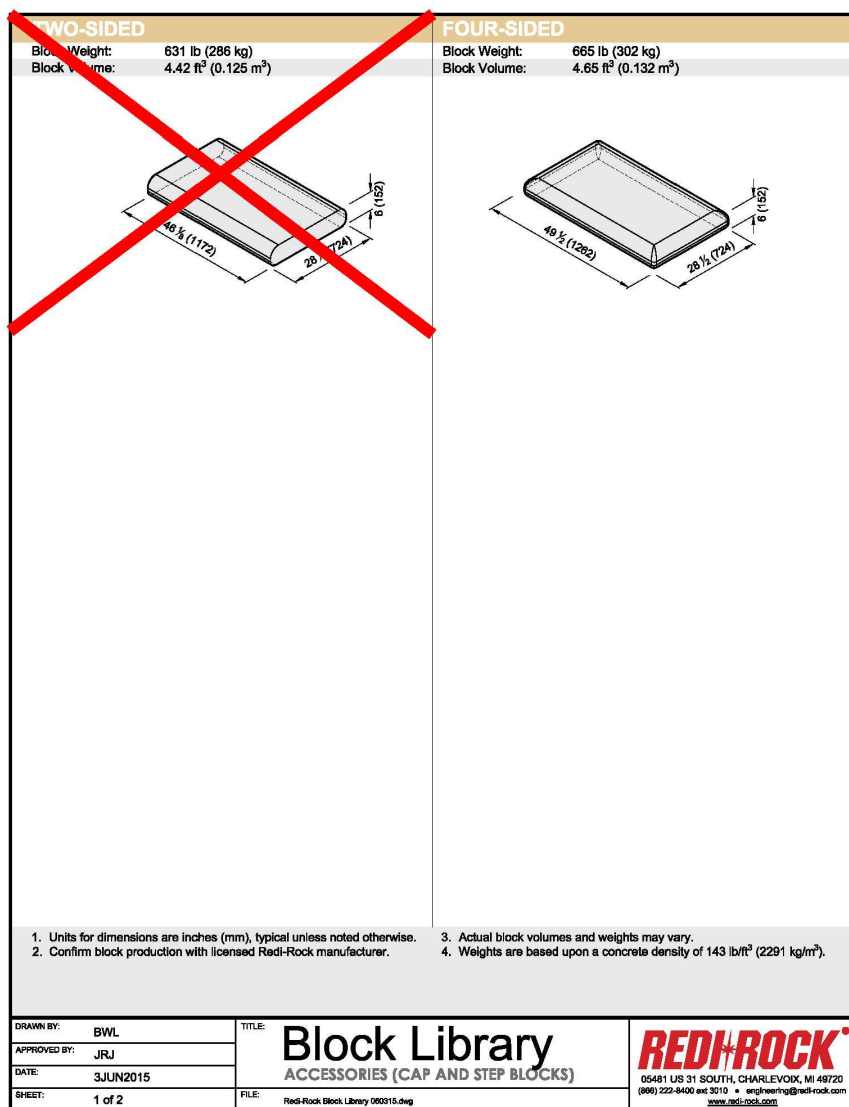
Block Library

RETAINING BLOCKS
Red-Rock Block Library 060215.dwg



FUTURE RETAINING WALL

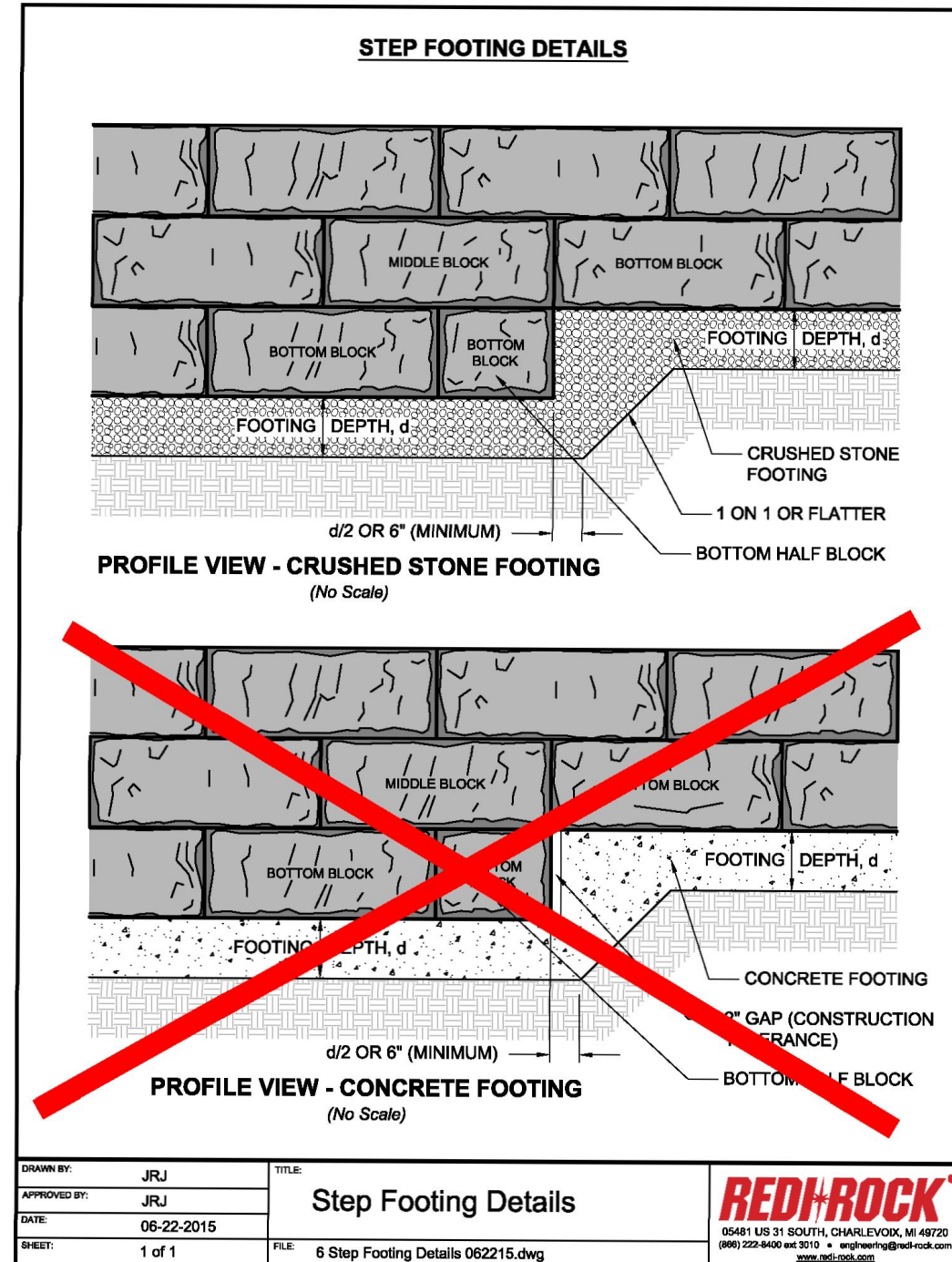
SCALE
1"=50' HORIZONTAL
1"=5' VERTICAL



- Units for dimensions are inches (mm), typical unless noted otherwise.
- Confirm block production with licensed Red-Rock manufacturer.
- Actual block volumes and weights may vary.
- Weights are based upon a concrete density of 143 lb/ft³ (2291 kg/m³).

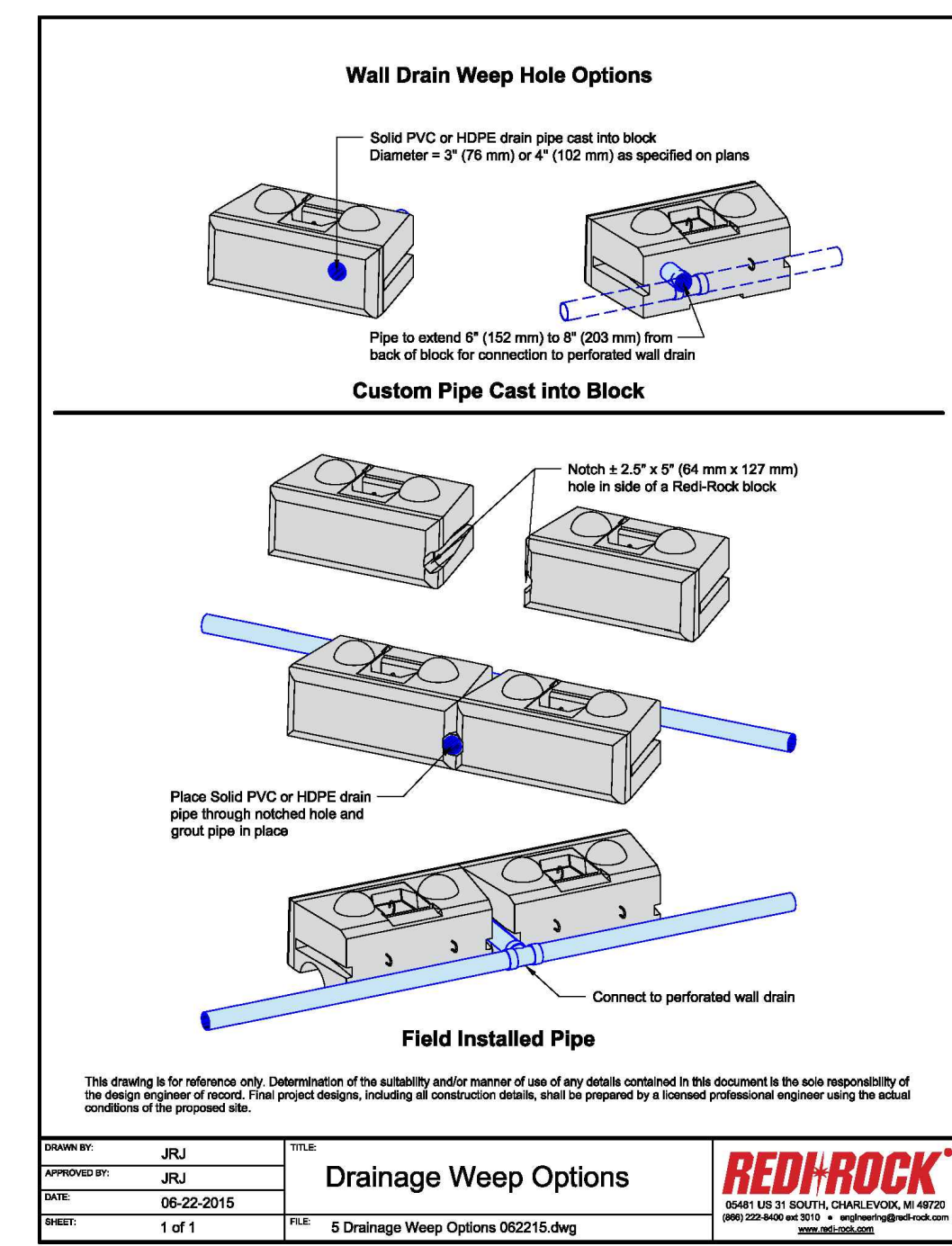
Block Library

ACCESSORIES (CAP AND STEP BLOCKS)
Red-Rock Block Library 060215.dwg



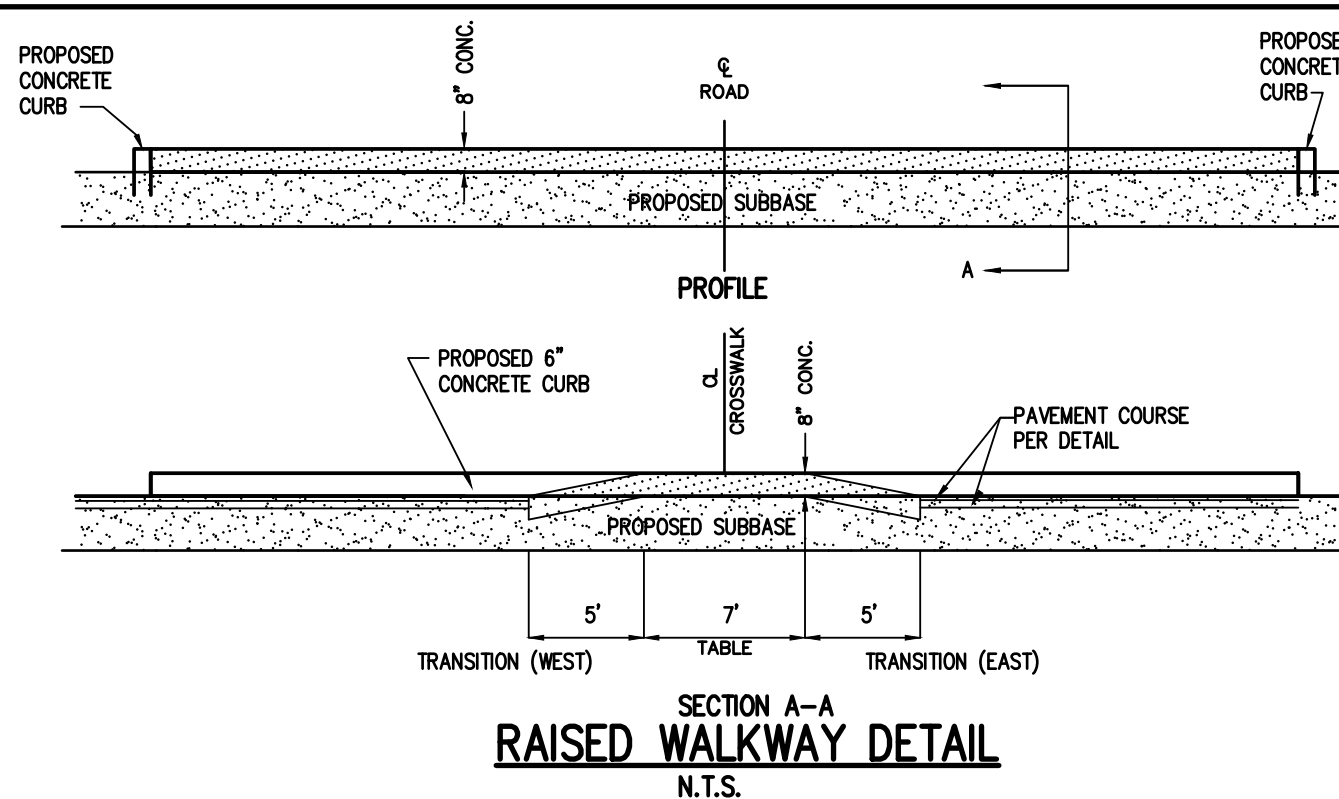
Step Footing Details

6 Step Footing Details 060215.dwg



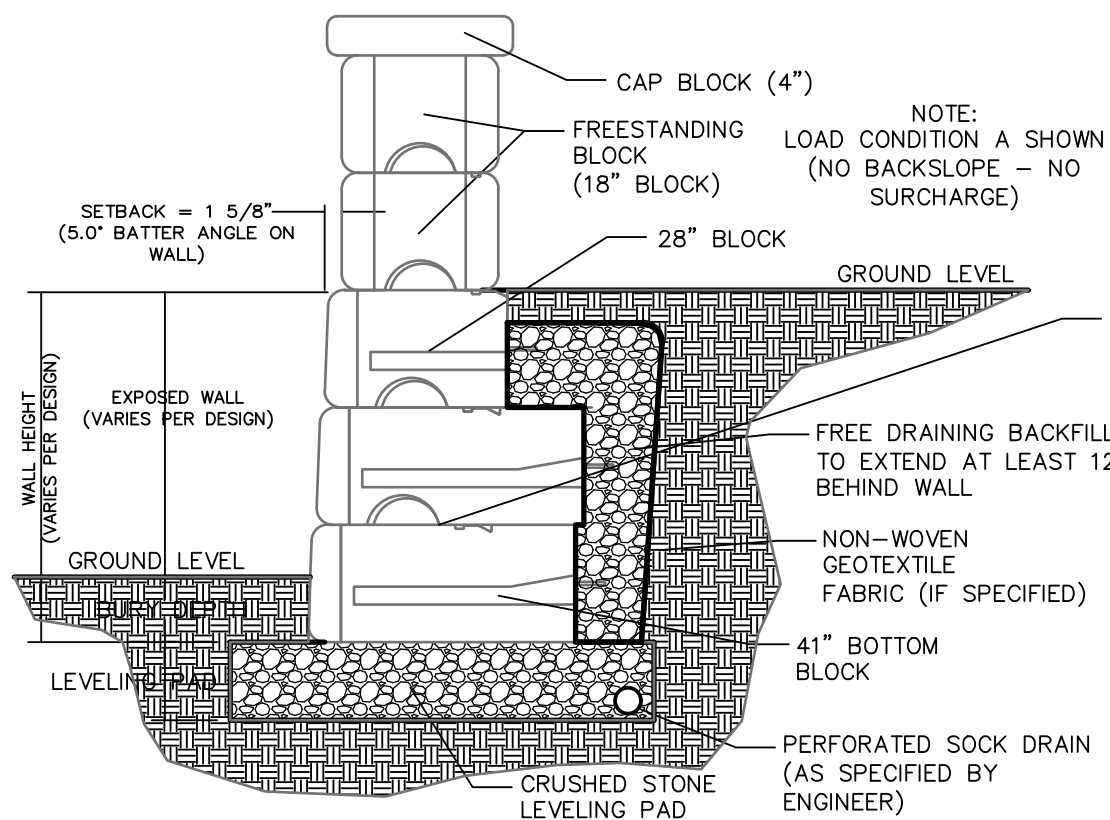
Drainage Weep Options

6 Drainage Weep Options 060215.dwg



SECTION A-A RAISED WALKWAY DETAIL

N.T.S.



FUTURE RETAINING WALL

N.T.S.

NOTE: FUTURE RETAINING WALL IS TO BE CONSTRUCTED WHEN LAND BANKED PARKING IS INSTALLED

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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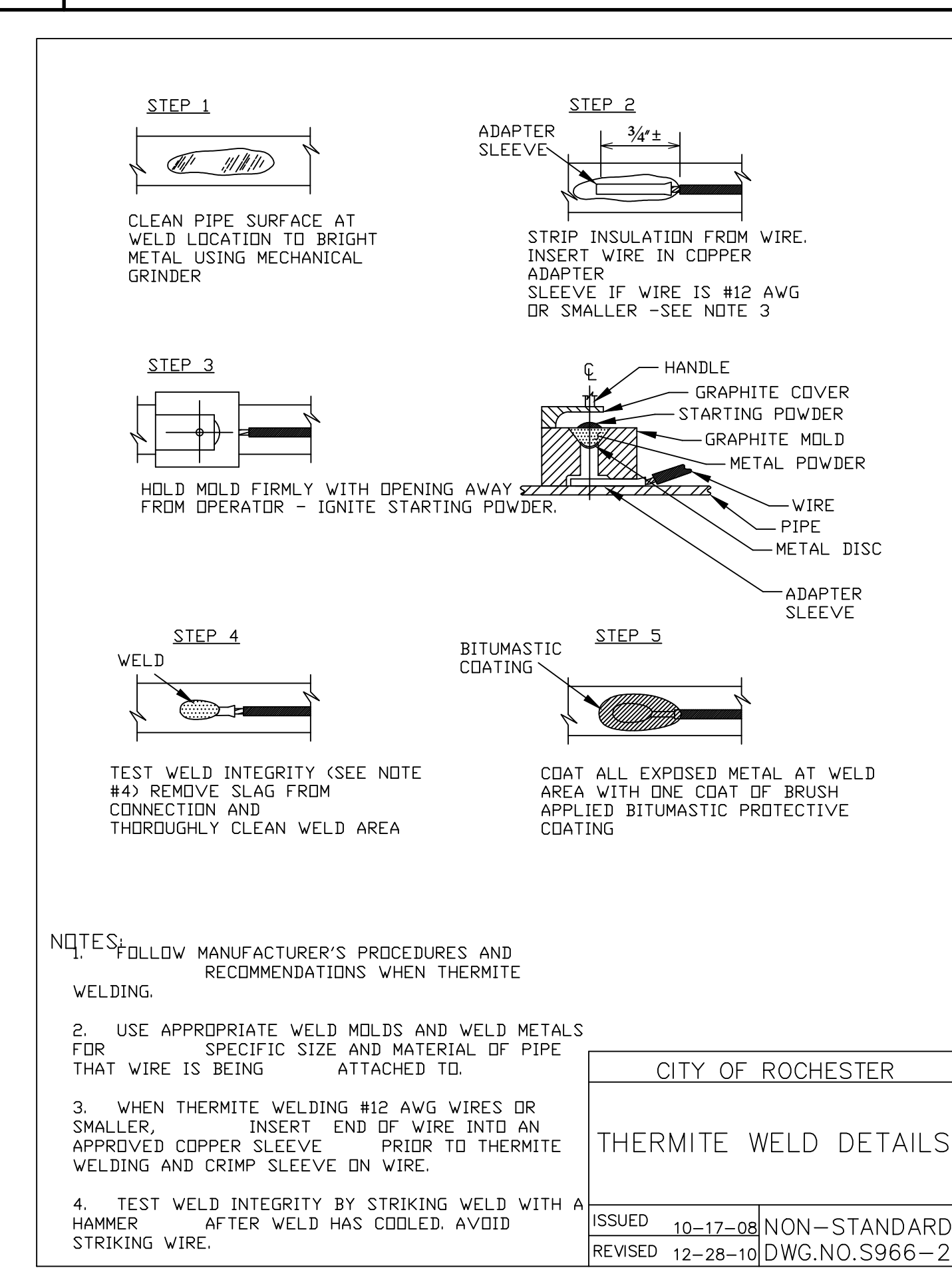
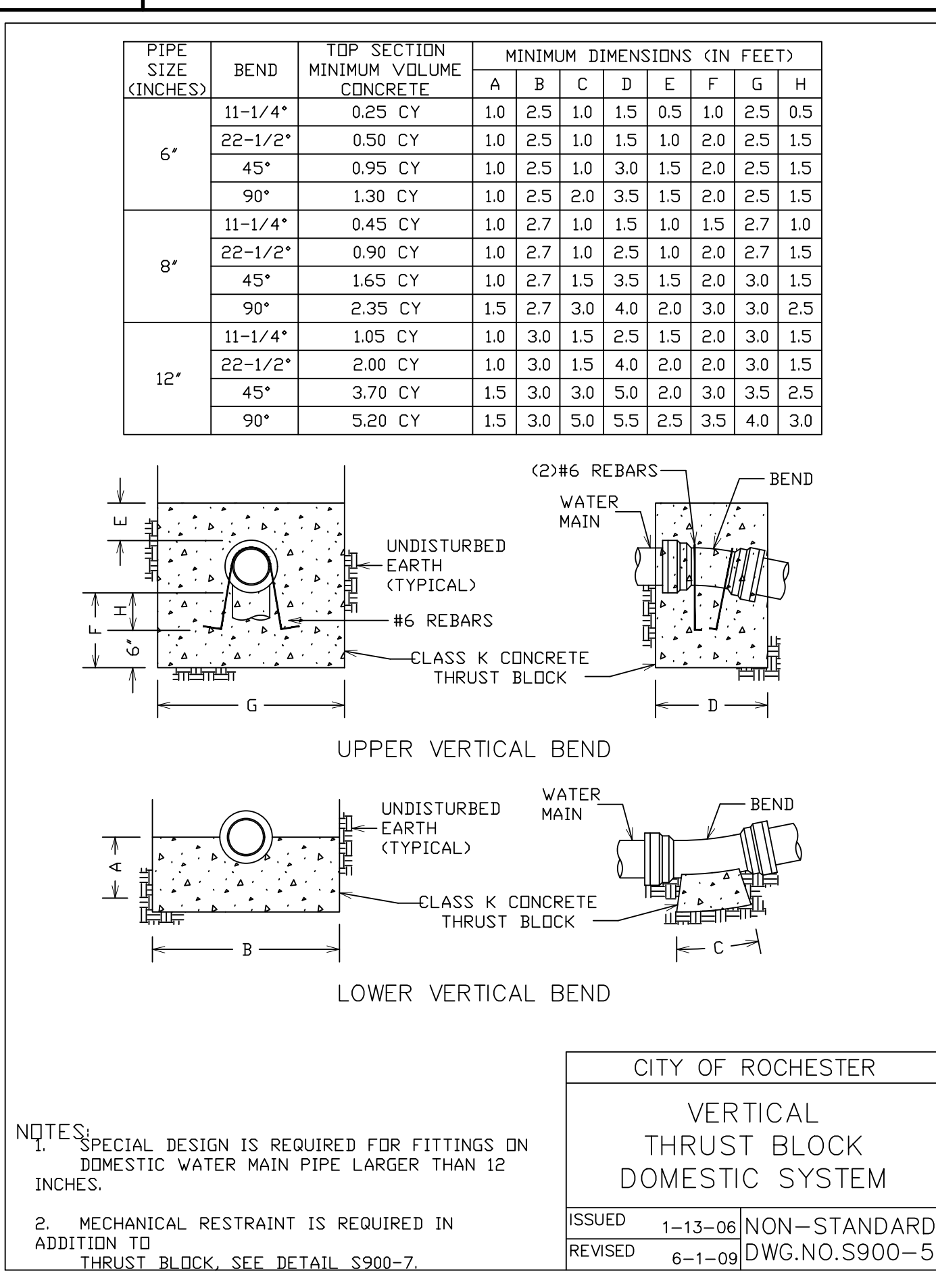
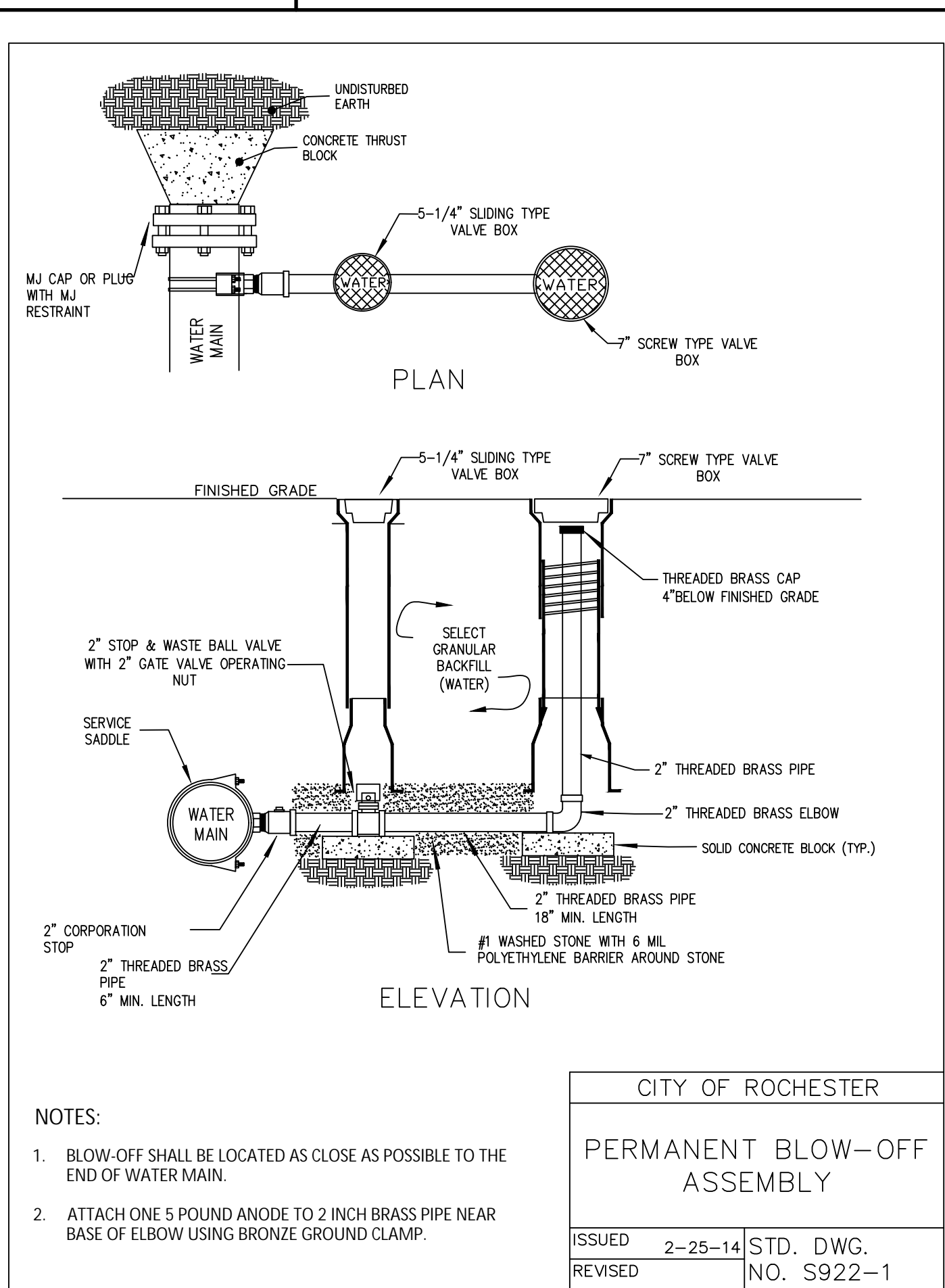
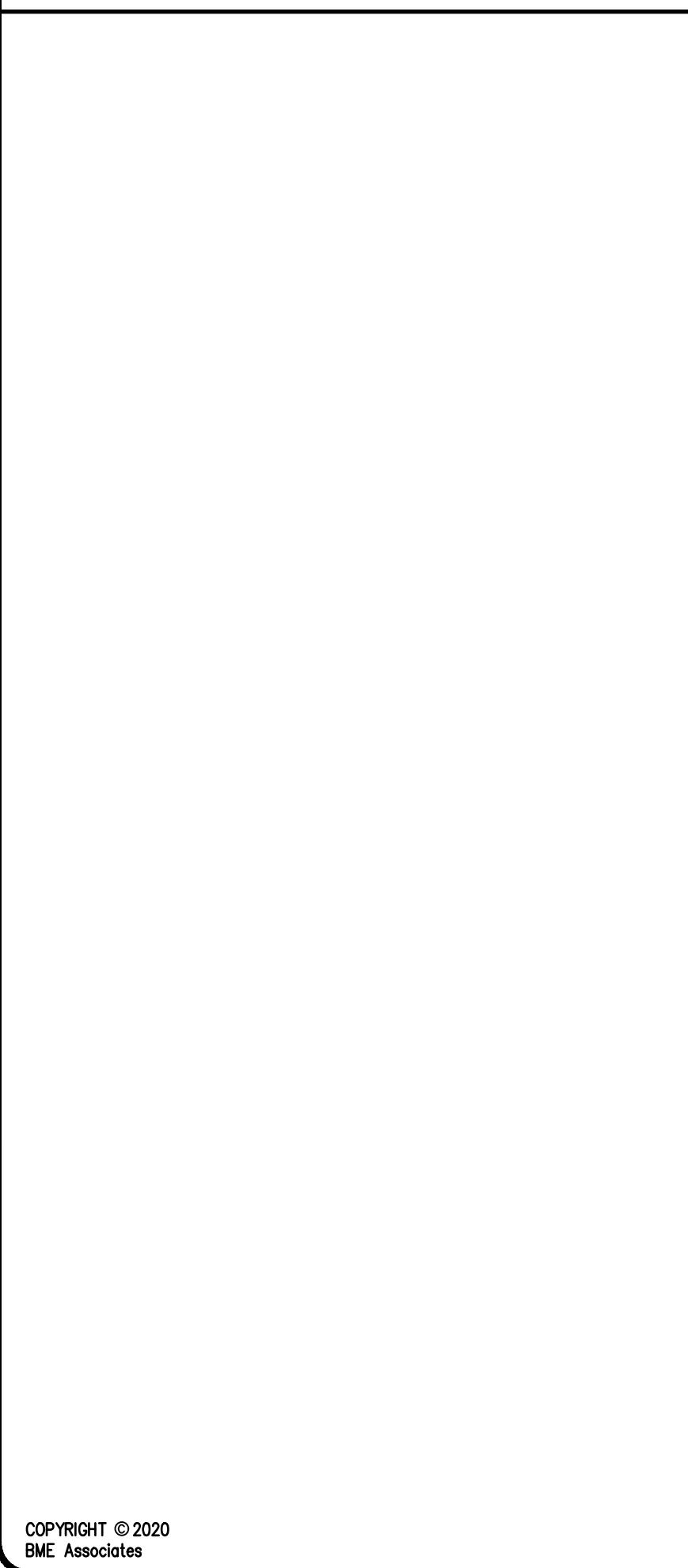
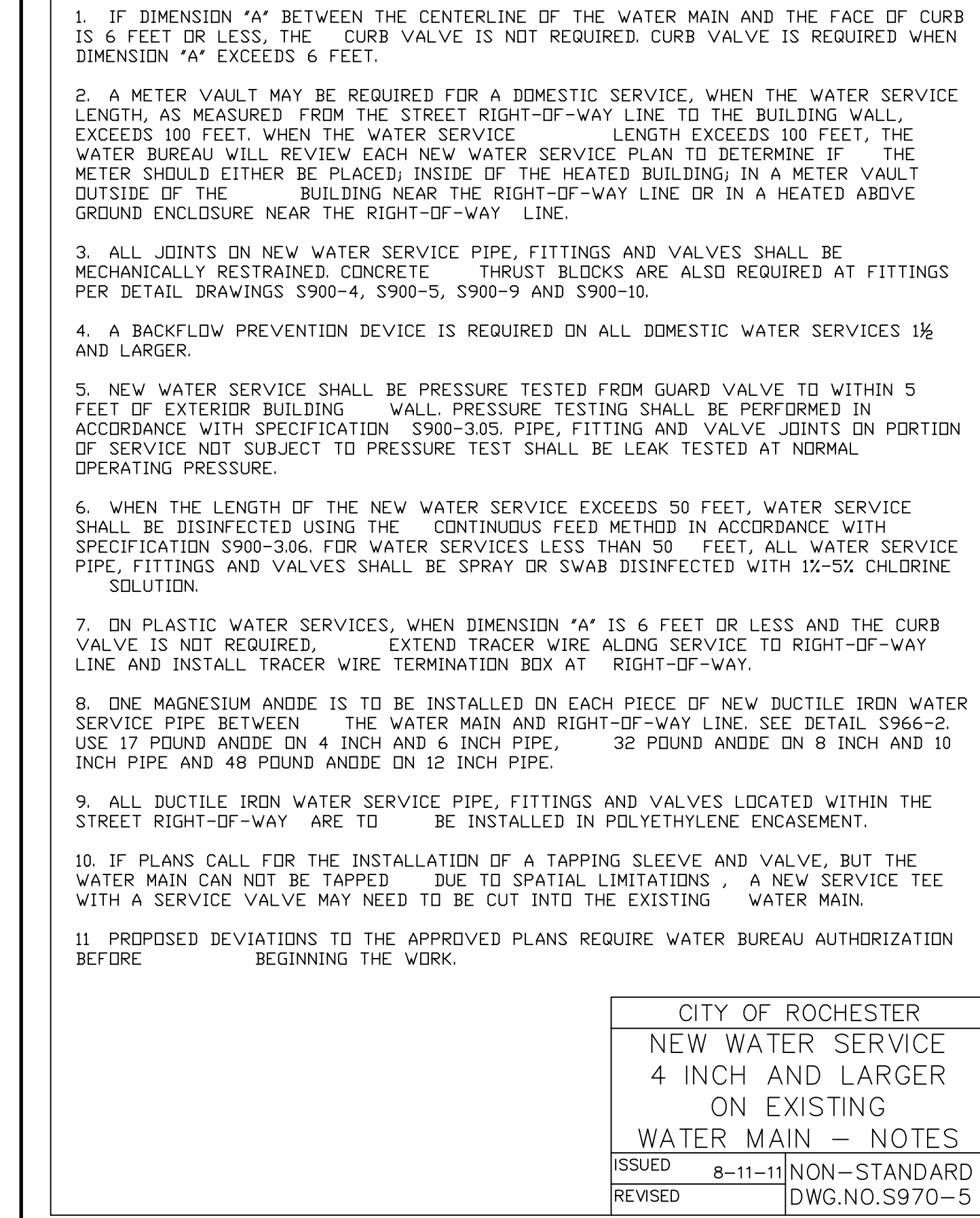
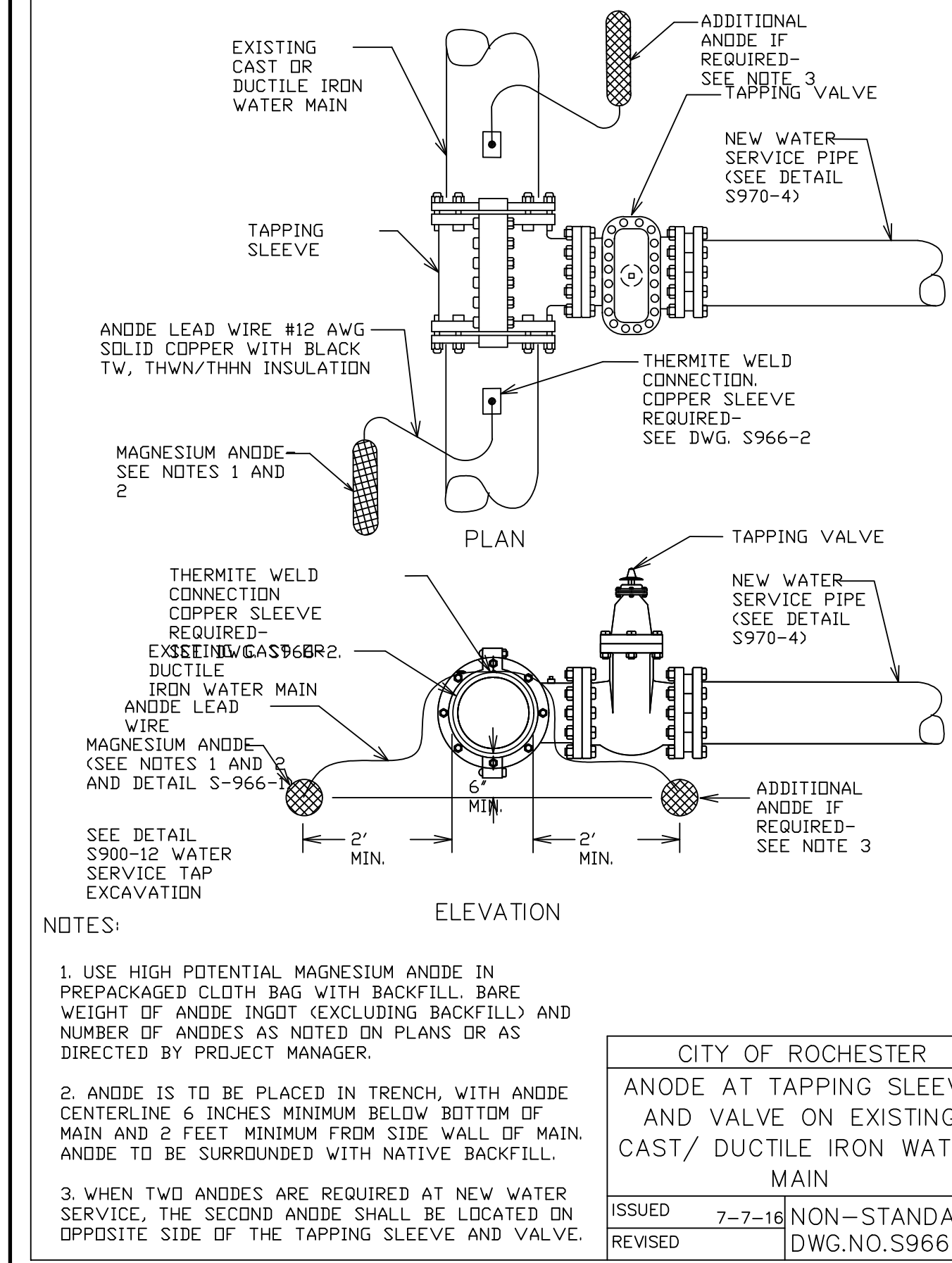
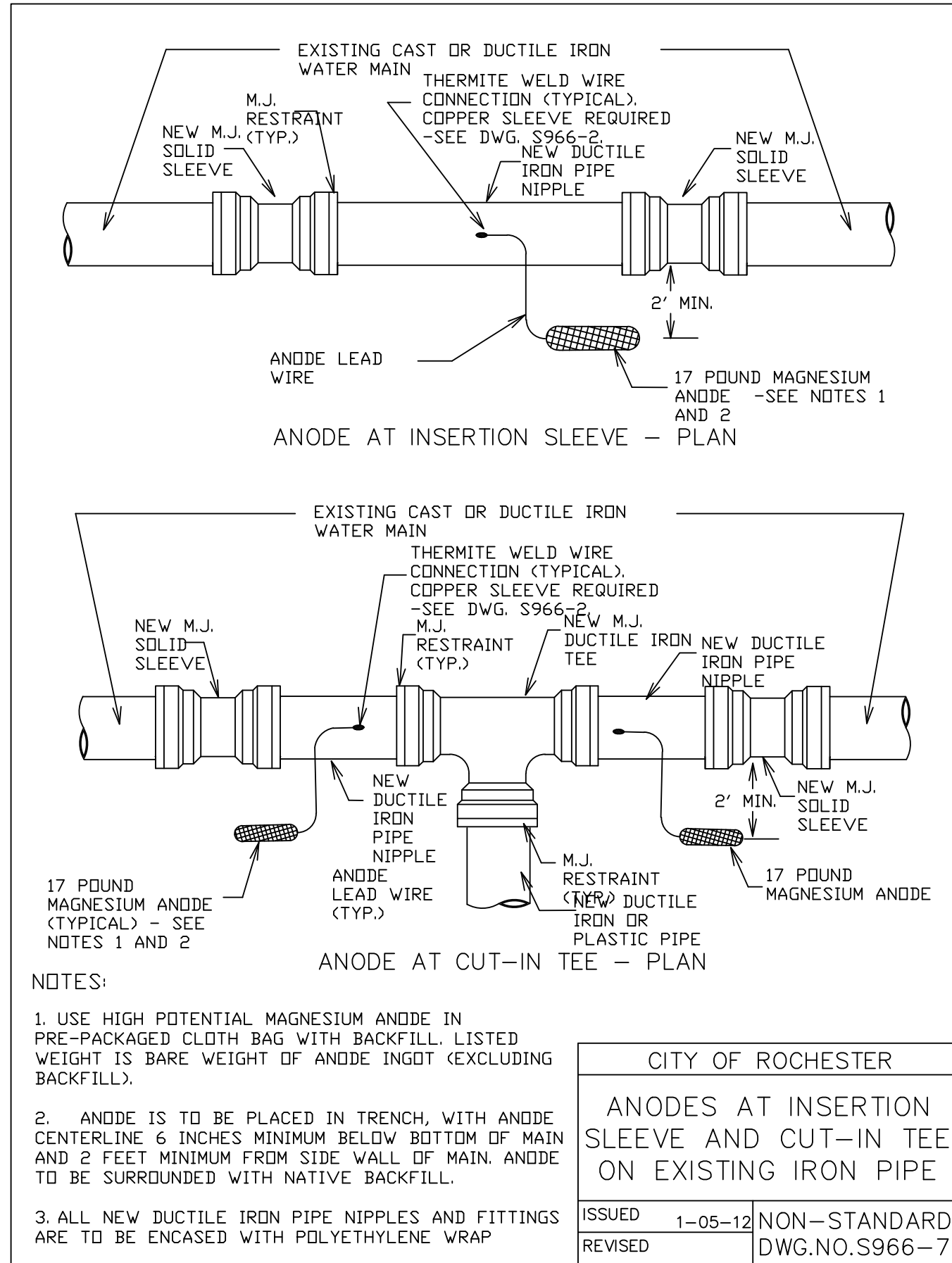
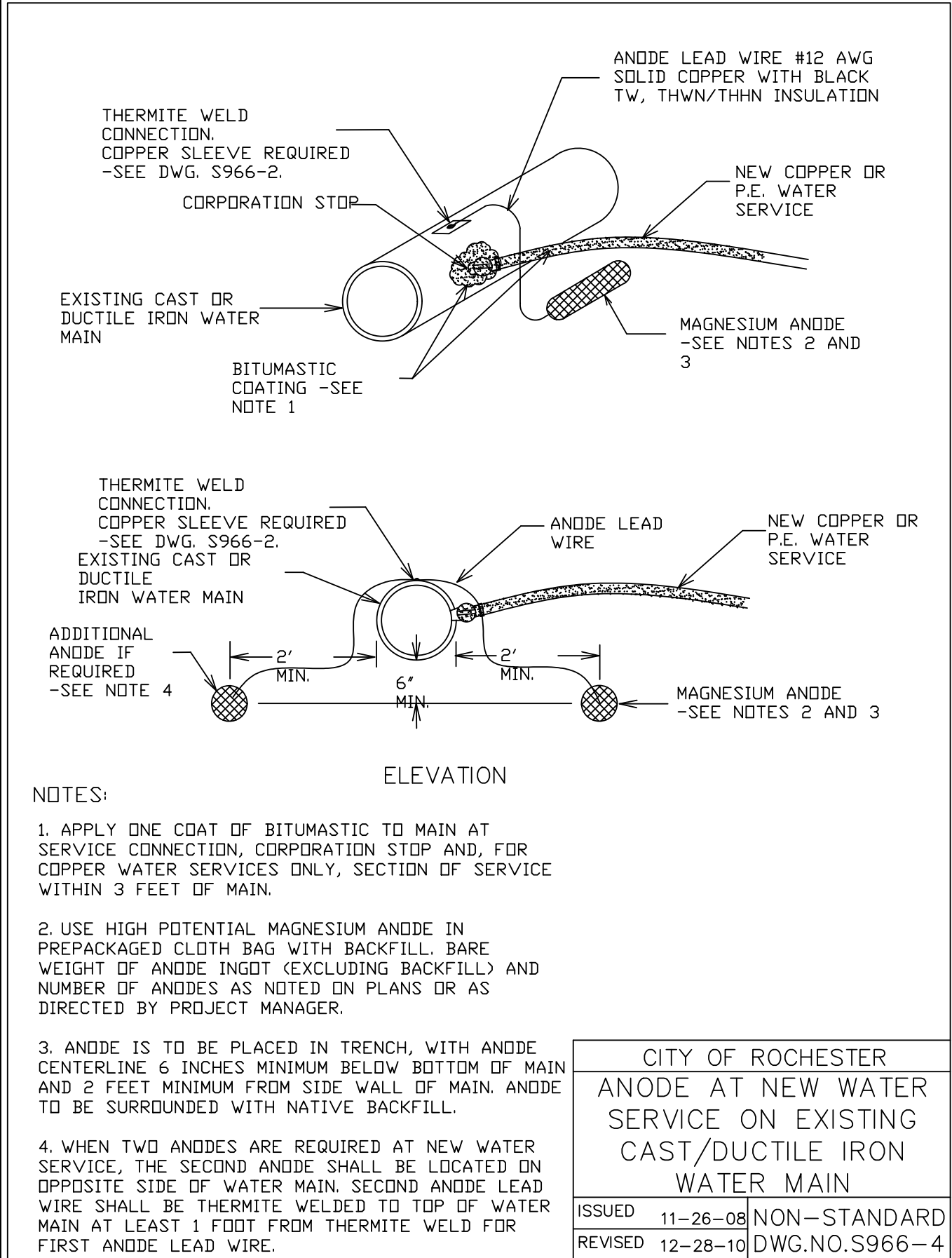
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BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14609
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FAX: 585-377-7369
WWW.BMECCON.COM



CULVER ROAD ARMORY
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK
WATNEY, BARD AND ASSOCIATES, LLC.
230 STATE STREET, SUITE 200
ROCHESTER, NY 14604

PROJECT	LOCATION	CLIENT	DRAWING TITLE
CULVER ROAD ARMORY	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK	WATNEY, BARD AND ASSOCIATES, LLC. 230 STATE STREET, SUITE 200 ROCHESTER, NY 14604	DETAIL SHEET
PROJECT MANAGER	DATE ISSUED	SCALE	PROJECT NO.
P. VARS	AUGUST, 2015	1"=50'	2293
PROJECT ENGINEER			
J. CRETEKOS			
DRAWN BY			
R. GLITCH			



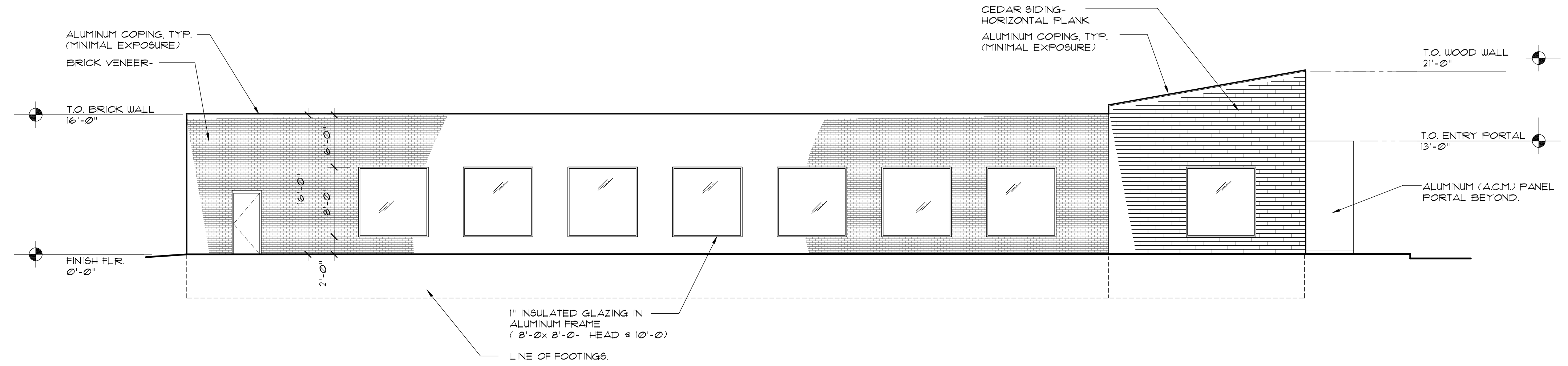
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BY	DATE	REVISIONS	REVISED PER CITY WATER BUREAU COMMENTS
1	3/31/20		
2			
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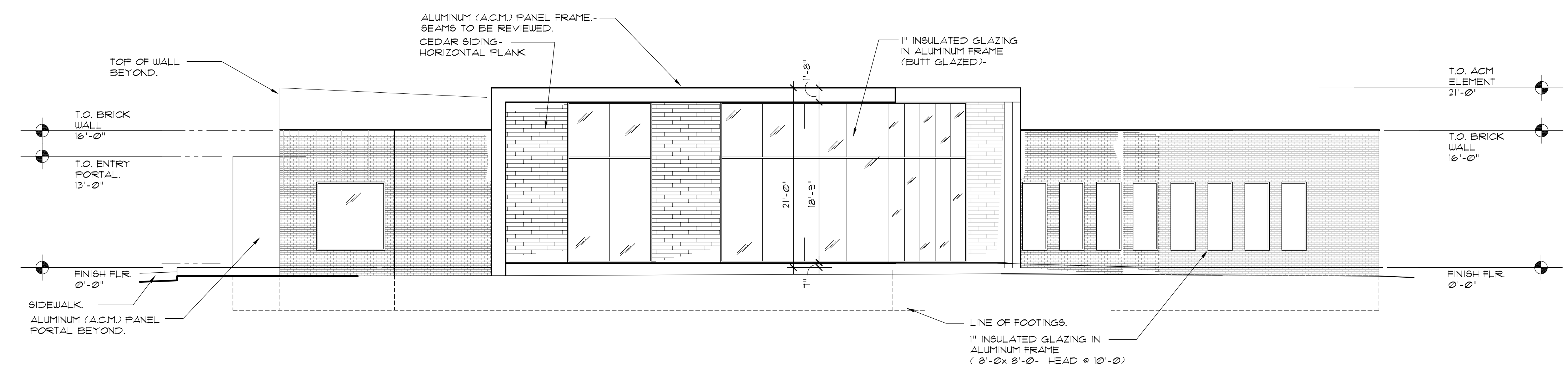
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CITY OF ROCHESTER, MONROE COUNTY, NEW YORK
WHITNEY BARD ASSOCIATES, LLC
200 WEST 10TH STREET
ROCHESTER, NY 14604

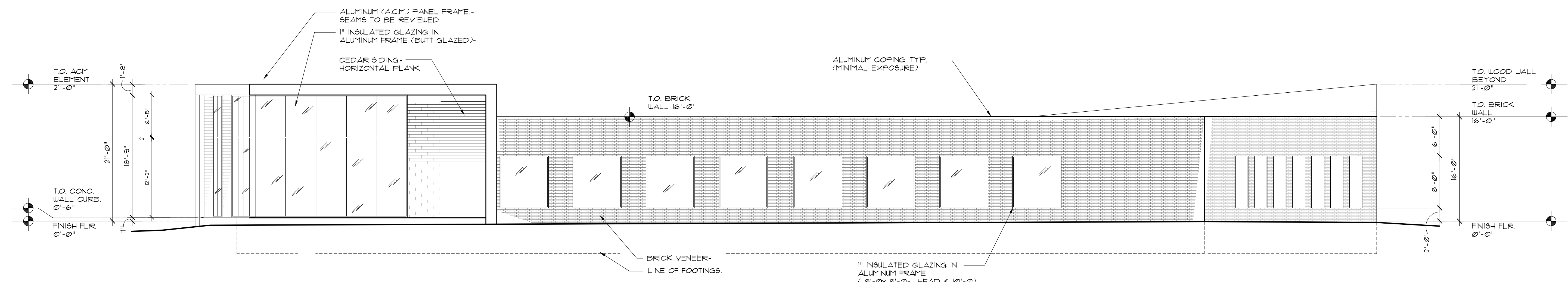
PROJECT
PROJECT MANAGER
P. VARS
PROJECT ENGINEER
J. CRETAKOS
DRAWN BY
R. GLITCH
SCALE
1"=50'
DATE ISSUED
AUGUST, 2015
PROJECT NO.
2293
DRAWING NO.
43
(SHEET 5 OF 5)



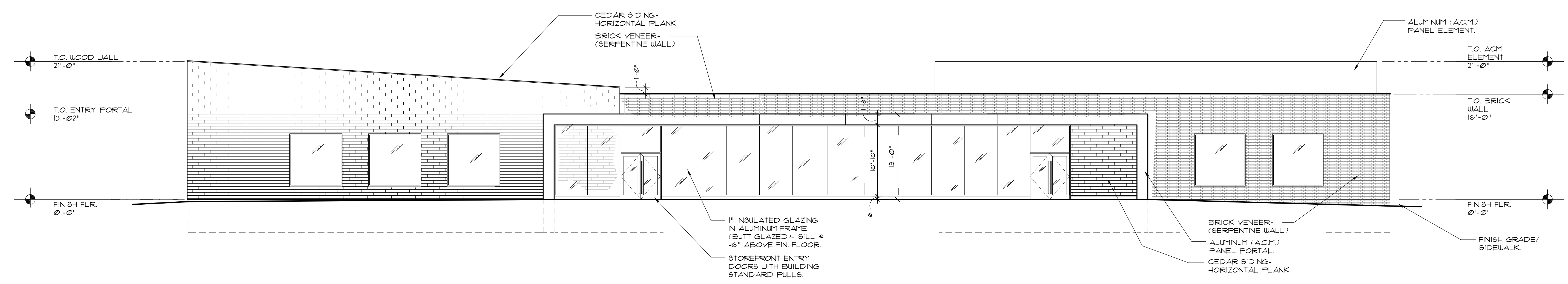
4
A3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3
A3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2
A3 WEST ELEVATION
SCALE: 1/8"=1'-0"



1
A3 EAST ELEVATION
SCALE: 1/8"=1'-0"

